

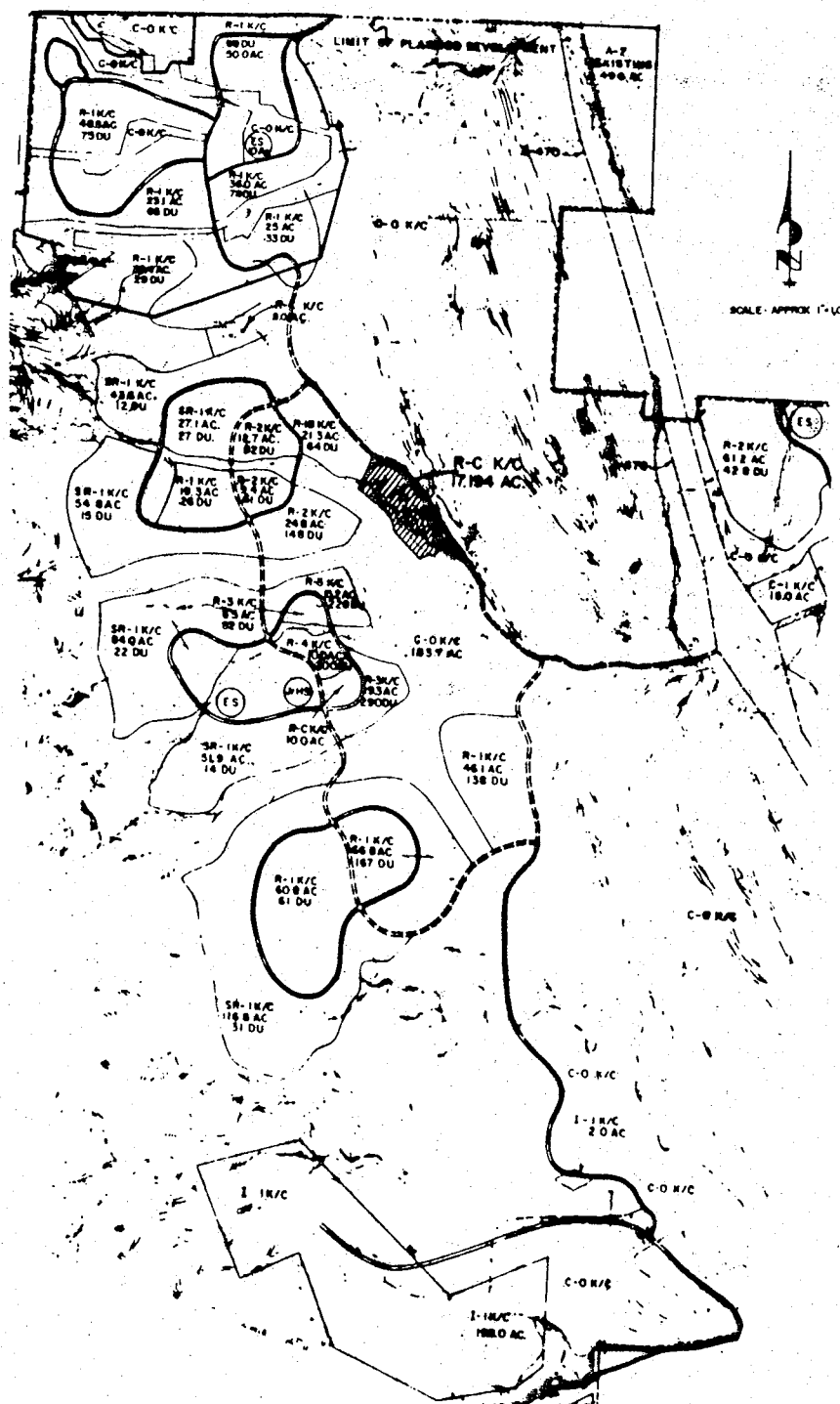
THE KEN-CARYL RANCH THE VALLEY SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN

MAP NO. 59 1000
1-1
11.15

NEIGHBORHOOD COMMERCIAL (R-C K/C) LEGAL DESCRIPTION

A PORTION OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 60 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT FROM WHENCE THE SOUTHWEST CORNER OF SAID SECTION 30 BEARS S 72° 24' 12" W A DISTANCE OF 1517.12 FEET; SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE N 72° 24' 12" W A DISTANCE OF 538.29 FEET; THENCE S 67° 16' 09" E A DISTANCE OF 100.67 FEET; THENCE S 57° 00' 18" W A DISTANCE OF 172.80 FEET; THENCE S 68° 22' 09" E A DISTANCE OF 311.97 FEET; THENCE S 80° 05' 10" W A DISTANCE OF 137.65 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF NORTH RANCH ROAD; THENCE S 10° 30' 00" W A DISTANCE OF 391.31 FEET; THENCE S 26° 05' 17" W A DISTANCE OF 171.71 FEET; THENCE S 61° 00' 00" E A DISTANCE OF 62.82 FEET; THENCE S 12° 00' 00" E A DISTANCE OF 100.00 FEET; THENCE S 17° 00' 00" W A DISTANCE OF 100.00 FEET; THENCE N 60° 00' 00" W A DISTANCE OF 117.00 FEET; THENCE S 50° 18' 03" W A DISTANCE OF 138.66 FEET; THENCE N 47° 11' 00" W A DISTANCE OF 571.30 FEET; THENCE N 27° 17' 59" W A DISTANCE OF 174.83 FEET; THENCE N 64° 17' 24" W A DISTANCE OF 179.80 FEET; THENCE N 75° 20' 00" W A DISTANCE OF 458.27 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 17.194 ACRES.



ALL THE PROVISIONS OF THE KEN-CARYL RANCH OFFICIAL DEVELOPMENT PLAN, RECORDED MARCH 11, 1971, IN COP BOOK 1, PAGES 1 THROUGH 10 OF THE RECORDS OF JEFFERSON COUNTY, COLORADO, SHALL CONTINUE IN FULL FORCE AND EFFECT EXCEPT AS AMENDED TO DATE OF REFORMATION HEREOF. THE OFFICIAL DEVELOPMENT PLAN OF THE KEN-CARYL RANCH IS AMENDED AS FOLLOWS:

- NEIGHBORHOOD COMMERCIAL (R-C K/C)
- A. USE REGULATIONS ARE AMENDED TO INCLUDE:
 28. COMMUNITY/RECREATION FACILITIES TO INCLUDE EQUESTRIAN CENTER, STORAGE AREAS, RESIDENCE FOR CARETAKERS OR EMPLOYEES AND OTHER RELATED ACTIVITIES.
 - B. MULTIPLE STRUCTURES

MULTIPLE STRUCTURES/BUILDINGS SHALL BE PERMITTED ON A SINGLE LOT. SUCH STRUCTURES/BUILDINGS SHALL BE DESIGNED INTO AN INTEGRATED PLAN FOR THE SITE.
 - C. THE FOLLOWING REGULATIONS, GUIDELINES, SPACE REQUIREMENTS AND DEVELOPMENT STANDARDS SHALL BE AMENDED FOR THE EQUESTRIAN CENTER (11.17 ACRES) ONLY.
 1. HEIGHT REGULATIONS

NO BUILDING SHALL EXCEED 40 FEET IN HEIGHT. HOWEVER, THE HEIGHT LIMITS ESTABLISHED HEREIN MAY BE RELAXED BY THE ARCHITECTURAL COMMITTEE FOR CHIMNEYS, WATER TOWERS, RADIO AND TELEVISION ANTENNAS, MONUMENTS, SPIRES AND FLAG-POLES.
 2. PARKING REQUIREMENTS

A MINIMUM OF 20 PARKING SPACES SHALL BE PROVIDED. OFF STREET OVERFLOW PARKING SHALL BE PROVIDED.
 3. BUILDING AREA

NO MINIMUM BUILDING SQUARE FOOTAGE WILL BE REQUIRED.
 4. ARCHITECTURAL AND LANDSCAPE GUIDELINES AND SPACE REQUIREMENTS

SITE PLAN CONCEPT - NOT APPLICABLE
BUILDING TYPE RELATED TO LAND USE - NOT APPLICABLE
STRUCTURAL DESIGN - INCLUDE WOOD
BUILDING CONCEPT - INCLUDE WOOD
SITE PLANNING CONCEPT - NOT APPLICABLE
STREET WIDTH & PARKING - SEE PARKING REQUIREMENTS
CIRCULATION - NOT APPLICABLE
 - D. THE TOTAL NUMBER OF HORSES TO BE BOARDED ON THE SITE SHALL BE LIMITED TO A MAXIMUM OF 200.

THE AMENDED OFFICIAL DEVELOPMENT PLAN OF THE KEN-CARYL RANCH, THE VALLEY SEGMENT AMENDMENT 1, IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 5th DAY OF SEPTEMBER, 1980.

BOARD OF COUNTY COMMISSIONERS

David C. Johnson
CHAIRMAN

Norman C. Allen
MEMBER

REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 5th DAY OF SEPTEMBER, 1980.

David C. Johnson
CHAIRMAN

William J. ...
SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 5th DAY OF SEPTEMBER, 1980.

RECEPTION NO. 80065801

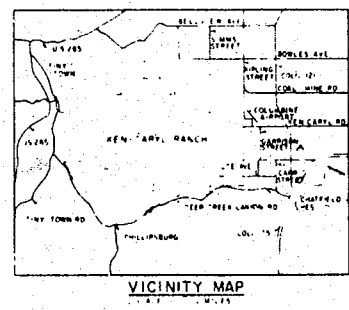
Norman C. Allen
CLERK AND RECORDER

THE KEN-CARYL RANCH
(VALLEY SEGMENT)
JOHNS-MANVILLE SALES CORP
JEFFERSON COUNTY, COLORADO

**AMENDED
OFFICIAL DEVELOPMENT PLAN**

NO WITHIN THIS USE AREA WILL BE RESERVED 10 ACRES FOR ELEMENTARY SCHOOL SITE AND 20 ACRES OF OPEN SPACE (C-O K/C). THESE ARE PERMITTED USES WITHIN THIS AREA.
 20 ACRES OF USABLE PARK OR PARKS SHALL BE PROVIDED. COMPLIANCE TO AVERAGE REQUIREMENTS SHALL NOT INCLUDE FLOOD PLAINS DEEMED UNSUITABLE FOR RECREATIONAL USE BY THE COUNTY AND GREENBELTS/BUFFERS OF LESS THAN 100 FEET IN WIDTH. THE PARK OR PARKS SHALL HAVE PEDESTRIAN ACCESS TO THE OPEN SPACE AREAS TO THE SOUTHWEST, NORTHEAST, AND NORTHWEST AS WELL AS THE K/C/R-18 AREA TO THE NORTH. AS MUCH AS PRACTICAL THE MAJORITY OF THE PARK AREA SHOULD BE CONTIGUOUS TO THE REQUIRED 10 ACRE SCHOOL SITE. MINIMUM SINGLE PARK SITE SHALL BE 1/7 ACRE.

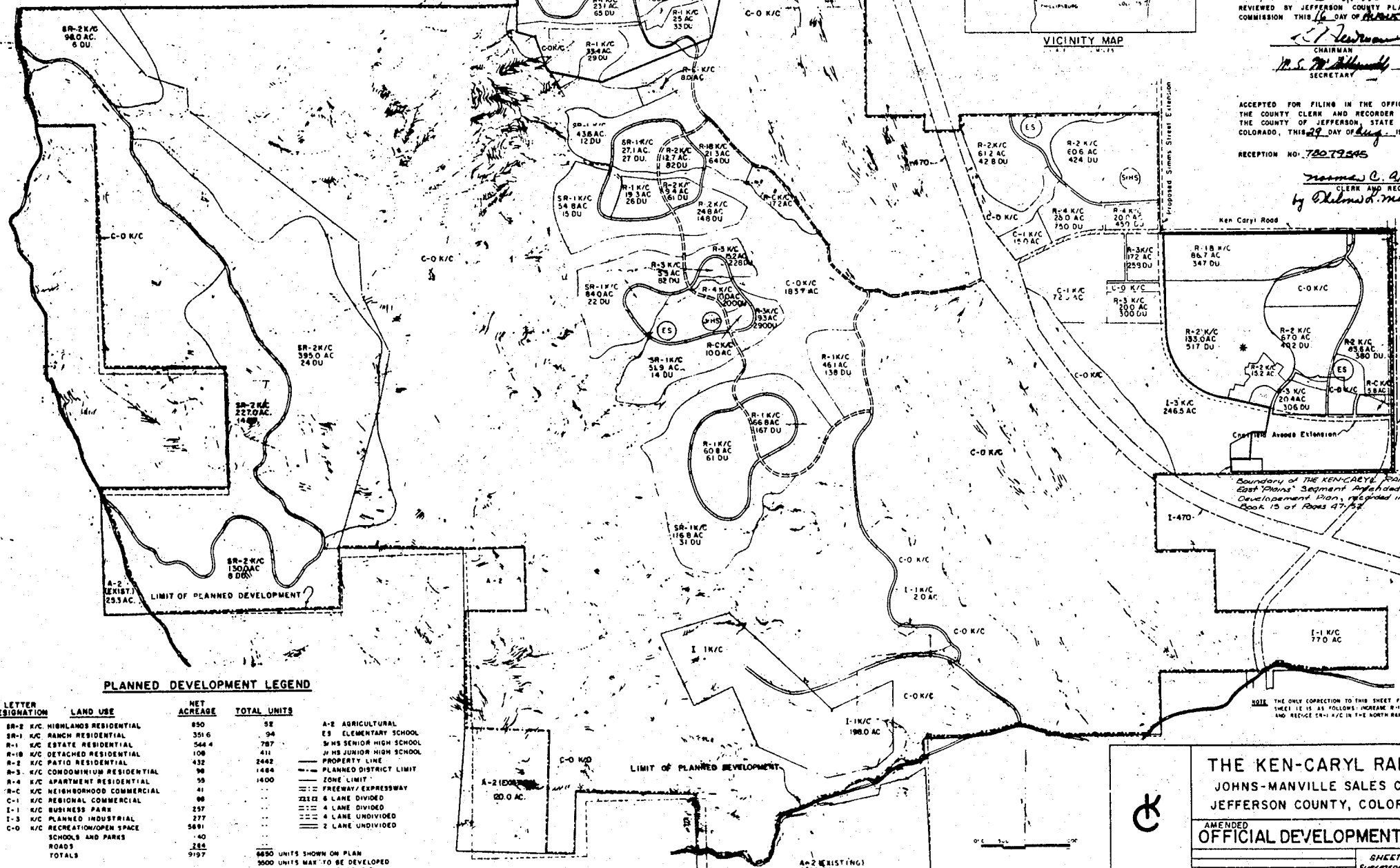
- GENERAL NOTES:
1. A 100-FOOT CORNER OPEN SPACE BUFFER SHALL BE PROVIDED SOUTH OF AND CONTIGUOUS TO THE NORTH BOUNDARY OF THE NORTH RANCH.
 2. NO VEHICULAR ACCESS WILL BE PERMITTED TO EXTEND NORTH TO WILLOWBROOK SUBDIVISION OR TO PROVIDE FOR A THROUGHFARE TO BELLEVUE.
 3. ALL PRIOR AMENDED OFFICIAL DEVELOPMENT PLAN SHEETS WHICH REFER TO SHEET 1E IN PART OR IN TOTAL NOW REFER TO SHEET 1F.



APPROVAL
 THIS SHEET SUPERSEDES SHEET 1E WHICH IS RECORDED IN ODP BOOK 12 AT PAGE 41.
 THE AMENDED OFFICIAL DEVELOPMENT PLAN SHEET 1F OF THE KEN-CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 12th DAY OF NOVEMBER 1978.
 BOARD OF COUNTY COMMISSIONERS
David S. Anderson
 CHAIRMAN
Thomas C. Allen
 CLERK AND RECORDER
 REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 16th DAY OF NOVEMBER 1978.
David S. Anderson
 CHAIRMAN
R.S. McElwain
 SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON STATE OF COLORADO, THIS 29th DAY OF DECEMBER 1978.
 RECEPTION NO. 78079545

Thomas C. Allen
 CLERK AND RECORDER
 by *Delores D. Monehey*



PLANNED DEVELOPMENT LEGEND

LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS
SR-2 K/C	HIGHLANDS RESIDENTIAL	850	58
SR-1 K/C	RANCH RESIDENTIAL	351.6	94
R-1 K/C	ESTATE RESIDENTIAL	544	787
R-18 K/C	DETACHED RESIDENTIAL	108	411
R-2 K/C	PATIO RESIDENTIAL	432	2442
R-3 K/C	CONDOMINIUM RESIDENTIAL	90	1484
R-4 K/C	APARTMENT RESIDENTIAL	59	1400
R-C K/C	NEIGHBORHOOD COMMERCIAL	41	...
C-1 K/C	REGIONAL COMMERCIAL	86	...
I-1 K/C	BUSINESS PARK	257	...
I-3 K/C	PLANNED INDUSTRIAL	277	...
C-O K/C	RECREATION/OPEN SPACE SCHOOLS AND PARKS	5681	...
ROADS		284	...
TOTALS		9197	8850 UNITS SHOWN ON PLAN 3600 UNITS MAY BE DEVELOPED 080 UNITS/ACRE AVE DENSITY

THE KEN-CARYL RANCH
 JOHNS-MANVILLE SALES CORP.
 JEFFERSON COUNTY, COLORADO
 AMENDED
OFFICIAL DEVELOPMENT PLAN
 SHEET 1F OF 10
 SUPERSEDES SHEET 1E

P13-69

THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN

All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 11, 1971, in ODP Book 1, pages 1 through 19 of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended to date of recordation hereof. The Official Development Plan of The Ken-Caryl Ranch is amended as follows:

J. Planned Industrial (I-1) R/C

Use Regulations

No building or land shall be used and no building shall hereafter be erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

1. Manufacturing, processing, fabrication, distribution or assembly of any commodity provided such uses relate directly to other permitted uses set out below. Assembly uses are limited to light industrial uses only.
2. Wholesale sales, warehousing, distribution or storage of any commodity specifically permitted under the following use regulations, with the following exceptions:
 - a. No live animals, commercial explosives or above-ground bulk storage of flammable liquids or gases may be included.
 - b. Sales, warehousing or storage of junk, including machinery or vehicles not in operating condition, may be permitted only if contained within a building.
3. Sale at retail of any commodity, manufactured, processed, fabricated or warehoused on the premises.
4. Sale at retail of hardware or equipment, supplies and materials (except commercial explosives) for agriculture, mining, industry, business, transportation, building and other construction.
5. Repair, rental and servicing of any commodity, the manufacture, processing, fabrication, warehousing, distribution or sale of which is permitted.
6. Government buildings or uses such as police stations, fire stations, post offices, and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations.
7. Parking of motor vehicles.
8. Terminals for transportation and public transit vehicles (except truck terminals).
9. Motor vehicle service or gasoline filling stations (total number of such facilities not to exceed five (5)).
10. Research and development facilities and office buildings.
11. Hospitals and medical buildings.
12. Banks, offices, laboratories, blueprinting establishments, restaurants and private clubs (including the sale for consumption on the premises of liquor and three point two (3.2%) percent fermented malt beverages).
13. Management-seminar complexes.
14. Ambulance services.
15. Heliports, subject to the provisions of Section IV.D.
16. Outdoor advertising devices, subject to the provisions of Section IV.A.
17. Assembly of light industrial products.
18. Accessory uses: Residential units limited to a maximum of ten (10%) percent of the total gross floor area of any one project/or development (all residential units must be integrated into proposed buildings).
19. The uses hereinabove set forth shall be subject to the following limitations and conditions:
 - a. Every use shall be so operated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
 - b. Every use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point on any boundary line of the lot on which the use is located.
 - c. Every use shall be so operated that it does not emit an obnoxious or dangerous charge of heat, glare radiation or fumes beyond any boundary line of the lot on which the use is located.
 - d. All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
 - e. No materials or wastes shall be deposited upon a lot in such form or manner that they may be transferred off the lot by natural causes or forces.

Off-Street Parking Requirements

Off-street parking spaces shall be provided for buildings and uses as hereinafter specified. These provisions shall apply to the entire parcel with the exception of Lot 1 Block 1, Ken-Caryl Ranch "Plains" Phase I-A; Amendment No. 1; Lot 2, Block 1, Ken-Caryl Ranch "Plains" Phase I-A; Lots 1 and 2, Ken-Caryl Ranch "Plains" Phase VIII-A; Lot 18, Block 5, Ken-Caryl Ranch "Plains" Phase VIII-B; Ken-Caryl Ranch "Plains" Phase VIII-C; and Ken-Caryl Ranch "Plains" Phase I-G.

1. **Location:** Parking areas shall be provided upon the same lot containing the use for which they are required or on separate lots within a 500 foot radius of the lot containing the use for which they are required. Such separate lots and the lot containing the use for which they are required shall be held under unified ownership or control, or the owner of the lot containing the use for which the off-street parking is required shall hold a parking easement in such separate lot.
2. **Screening:** Any off-street parking area shall be provided a planting screen, landscaped fence or wall abutting streets and adjacent properties.
3. **Determination of Need:** The number of parking spaces required shall be based upon the anticipated parking demand of the individual uses and shall be as designated for specific uses and situations as follows:
 - a. **Office uses:** Four (4) parking spaces for each 1000 square feet of gross leasable floor area.
 - b. **Industrial, Storage, Warehouse uses:** One (1) parking space for each 1000 square feet of gross leasable floor area.
 - c. **Retail/Service uses:** Six (6) parking spaces for each 1000 square feet of gross leasable floor area.
 - d. **Restaurants and Lounges:** Ten (10) parking spaces for each 1000 square feet of gross leasable floor area.
 - e. **Medical and Dental Offices/Clinics:** Five (5) parking spaces for each 1000 square feet of gross leasable floor area.

Alternative Off-Street Parking Requirements

Those requirements set forth in Sections 21.F and 21.G of the Jefferson County Zoning Resolutions.

Height Regulations

1. None

Area Regulations

1. **Area and Minimum Width of Lot:** No restrictions other than the Building Site Coverage set out below and Parking Requirements set out above.
2. **Front Yard:** Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that setback on a county arterial shall be a minimum of forty (40) feet. Motor fuel pumps may be erected not less than eighteen (18) feet from such front lot line.
3. **Side Yard:** If a building is constructed of masonry or fireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed of materials other than masonry or fireproof materials, the minimum depth of any side yard of an interior lot or side yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side setback line, shall be five (5) feet. On corner lots, the minimum depth of the side yard on the side adjacent to a street, measured from the side lot line to the side setback line, shall be thirty (30) feet. On corner lots, motor fuel pumps may be erected not less than eighteen (18) feet from the side lot line on the side adjacent to a street.
4. **Rear Yard:** No rear yard setback.

Multiple Structures

Multiple structures/buildings shall be permitted on a single lot. Such structures/buildings shall be designed into an integrated plan for the site.

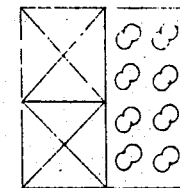
Building Site Coverage

Maximum building coverage of fifty (50%) percent is allowed. Parking spaces and/or structures shall not be calculated as building area and shall be allowed in the fifty (50%) percent open area.

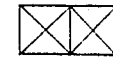
KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE:	Planned Industrial (I-1) R/C
S.F.:	(NO MINIMUM)
2. BUILDING:	Min. S.F. 5,000 Max. S.F. 5,200,000
3. PARKING:	Min. S.F. See Above Max. S.F. N/A
	Open N/A
	Covered Min S.F. See Above 1 of Total
	Underground N/A
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:	
A. Site Plan Concept:	Individual sites and building clusters
Bldg. Type Related to Land Use:	Single & multi-tenant buildings Primarily frame, masonry, concrete, or steel
Structural Design:	
B. Site Drainage Concept:	Surface drainage
Landscape Concept:	Building setbacks and parking setbacks to be mounded & landscaped with grass, trees, shrubs, rocks, brick and pavers; earth tones.
Building Concept:	Mixture of natural materials, block submission
C. Site Planning Concept:	Planned industrial and business park
Street Width & Parkings:	Local (50'), Collector (60') and Arterials (80'-100') R.O.M.
Circulations:	Public Streets
DEVELOPMENT STANDARDS	Planned Industrial (I-1) R/C
1) Height Limit	None
2) Area Regulations	
A. Lot Size	No restrictions
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	See Above



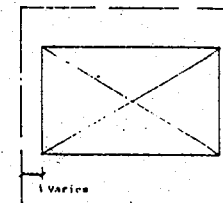
50x structural
50x open space (including parking areas)



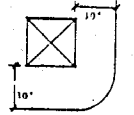
Provided both structure/area of fireproof construction



LOT COVERAGE
MAXIMUM
(no scale)



Provided structure(s) are of non-fireproof construction



GRADE FOR SETBACKS
(10' YARD DEPTH)
(no scale)

FRONT PROPERTY LINE SITE PLAN (no scale)

THE KEN-CARYL RANCH
(NORTH PLAINS SEGMENT)
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

**AMENDED
OFFICIAL DEVELOPMENT PLAN**

SHEET 2 of 2

III. OUTLINE OF PROPOSED KEN-CARYL RANCH
PLANNED DEVELOPMENT DISTRICT

A. Purpose and Intent

This application for a Planned Development District, which encompasses most of the Ken-Caryl Ranch in Jefferson County, Colorado, is the result of 14 months of extensive and deliberate analysis, evaluation, and planning efforts of Johns-Manville Corporation and a wide variety of professional and technical consultants, including experts in the fields of economics, geology, hydrology, transportation, civil engineering, land use planning, environmental, ecology, architecture, and sociology.

The evaluation and analysis efforts of this planning group were initially directed toward the development of (1) a general understanding and of the presently existing character and (2) an investigation and analysis of the existing and future needs and pressures for economic development in both the local area surrounding the Ranch and in Jefferson County as a whole. Considerable attention was also given to Jefferson County's assessment of the desired direction and intensity of development for the County, as set out in the County's Master Plan.

On the basis of the above studies of the existing uses and forecasted development trends, the efforts of the planning group were then directed toward the development of a land-use plan for the Ranch which would most fully serve the future needs of the County while causing a minimum disruption of existing land uses in the area.

This application represents the results of the planning group's efforts to achieve the above-stated goals. The development of the plan for the Ranch presented a unique challenge for the planning group because of the variety of geological conditions, environmental resources, and points of historical importance on the Ranch. In order to meet the challenge and maximizing the benefits of these values, the planning group was required to create development concepts for the Ranch which, while maintaining an internal continuity of design and fulfilling all of the requirements of the County Master Plan, are not specifically provided for within the zoning regulations or subdivision regulations of Jefferson County.

B. Planned Development Statistics

The Jefferson County Comprehensive Future Land Use Plan (1967) and the Jefferson County Future Land Use Plan - Mountain Area (1972) designate a total maximum population for the lands included within the proposed PD district of 22191 or, translated to dwelling units, 6849 units.

However, Johns-Manville proposes to limit the total number of dwelling units within the approved PD district to a total of 5500 units, or an average density of .59 dwelling units per acre. The residential population at the end of the approximate 20-year development life of the project, based on the 5500 unit limitation, is estimated to be 17820.

Prior to the time of final platting, it is difficult to determine the precise mix between dwelling unit types. Therefore, a total of 6,650 dwelling units is indicated in the proposed Official Development Plan. The following table summarizes the land uses, acreages, and dwelling units as shown on the proposed Official Development Plan.

Land Use	Letter Designation	Net Acreage	Total Units
Highlands Residential	SR-2 K/C	850	52
Ranch Residential	SR-1 K/C	454	122
Estate Residential	R-1 K/C	442	759
Detached Residential	R-1B K/C	108	411
Patio Residential	R-2 K/C	374	2442
Condominium Residential	R-3 K/C	98	1664
Apartment Residential	R-4 K/C	55	1400
Neighborhood Commercial	R-C K/C	41	—
Regional Commercial	C-1 K/C	88	—
Planned Industrial	I-3 K/C	257	—
Business Park	I-1 K/C	277	—
Recreation and Open Space	C-0 K/C	5691	—
Schools and Parks	—	140	—
Roads	—	264	—
TOTALS	—	9139	6650

C. Water and Sanitation Services

In the highlands area, which constitutes approximately 850 acres of the Ken-Caryl Ranch and includes a total of 52 parcels, water and sanitation facilities will be furnished respectively by wells and septic tanks drilled and constructed in strict compliance with all applicable state and county statutes, ordinances, rules, and regulations.

A special district, The Ken-Caryl Ranch Water & Sanitation District, will be organized under Chapter 89 of the Colorado Revised Statutes over the lands covered by this application, exclusive of the aforesaid Highlands area. Negotiations are under way with the Denver Water Board for the sale and delivery of water to the City and County of Denver. Negotiations are under way with the Southwest Metropolitan Water and Sanitation District for joint use of the construction and joint use of new sewage outfall lines to the treatment facilities of the City of Littleton. Negotiations are under way with the City of Littleton for the treatment of such sewage.

Financial consultants have been retained for assistance with respect to issuance of general obligation bonds of the District to finance the construction of the major water transmission lines, storage reservoirs and outfall sewer lines. The local distribution system and sewage collection system will be installed by a District for operation and maintenance.

The District's Service Plan, prepared pursuant to Chapter 89, will cover the same area as the District. Final ruling on the Service Plan by the Board of County Commissioners is expected prior to action by the Board on the within application. Formation of The Ken-Caryl Ranch Water & Sanitation District will be completed after the Board of County Commissioners rules on this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

1. Master Association

a. Organization

Johns-Manville will organize a non-profit corporation or unincorporated association ("Master Association") for general ownership and administration of the recreation, open space and common areas. As various parts of the Ranch are developed such areas, other than those which are then dedicated to governmental bodies or to be conveyed for private ownership, which are included within each respective plat will be conveyed to the Master Association.

b. Membership

Membership in the Master Association will be mandatory upon all landowners within the Ranch and will run with ownership of the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the general welfare and enjoyment of the owners and occupants of the Ken-Caryl Ranch. In implementation of this primary purpose, the Master Association will have power to own and operate, and to sell, lease, and dedicate lands for all variety of recreational uses consistent with the zoning application to such lands. The Master Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon the members to cover its expenses of operation. The Master Association shall also have authority to levy assessments against specific local areas to be expended for the benefit of the properties so assessed. All assessments shall constitute liens which may be foreclosed if not paid when due. Its duties will also include enforcement of restrictive covenants applicable to the Ken-Caryl Ranch.

d. Rules

The Master Association members will meet annually for the election of directors, who in turn will elect the officers. The officers and directors of the Master Association will meet as regularly as necessary for orderly operation and administration. The Master Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

e. Architectural and Environmental Control Committee

An Architectural and Environmental Control Committee (hereinafter the Architectural Committee) will be appointed by the board of directors. Its primary function will be to insure that all development is in full compliance with this Planned Development District Zoning Ordinance, applicable restrictive covenants, and such rules and regulations as may be adopted from time to time by the Architectural Committee.

2. Sub-Associations

a. Organization

Johns-Manville will organize non-profit corporations or unincorporated associations (hereinafter the "Sub-Associations") for localized areas within the Ken-Caryl Ranch to further the specific needs, desires and interests of the owners and occupants of such localized areas.

b. Membership

Membership in the Sub-Associations will be mandatory upon all landowners within the affected areas and will run with the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority

Except as reserved to itself by the Master Association or the Architectural Committee, the duties, powers and authority of the Sub-Associations shall be as set forth below.

The primary purpose of each Sub-Association will be to own, operate and administer the recreation, open space and common areas within its specific area for the general welfare and enjoyment of the owners and occupants thereof. In implementation of this primary purpose, each Sub-Association will have the power to own and operate, and to sell, lease and dedicate lands for all variety of recreational uses consistent with the zoning applicable to such lands. Each Sub-Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon its members to cover its expenses of operation. All assessments shall constitute liens which may be foreclosed if not paid when due. The Sub-Associations may delegate to the Master Association, with its approval, the right to collect such assessments. The duties of each Sub-Association will also include enforcement of restrictive covenants applicable to its specific area.

d. Rules

Each Sub-Association will meet annually for election of its directors, who in turn will elect the officers. The officers and directors will meet as regularly as necessary for orderly operation and administration. Each Sub-Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

E. Schools

In discussions with the Jefferson County R-1 School District, it has been determined that the Ken-Caryl Ranch planned development and the surrounding planning area will require a total of five elementary schools, one junior high school, and one senior high school.

These school sites are tentatively located on the proposed Official Development Plan included with this filing. Prior to the time of filing for final plat approval any plat upon which will be located a school site, the site will be mutually agreed upon as to exact location between the developer and the District, and the developer will reserve and dedicate the site to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is as follows:

Elementary School	17 acres
Junior High School	20 acres
Senior High School	15 acres

F. Access

Interstate 470, as planned by the State Division of Highways, extends through the Ken-Caryl development in a north-south direction generally parallel to the Dakota Highway. It is estimated that construction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chatfield Avenue westerly from its existing terminus at South Garrison Street to the property boundary. Other access routes shown on the Jefferson County master plan of highways are: South Simms Street southerly to a connection with Chatfield Avenue, Ken-Caryl Road westerly to an interchange with I-470, Kipling southerly to an interchange with I-470 and existing Deer Creek and Turkey Creek Roads.

G. Fire Prevention and Protection

The property included in this PD application currently lies within two fire districts - Inter-Canyon Fire Protection District and Bancroft Fire Protection District. Additionally, there are approximately 840 acres which are not currently within either of these fire districts. It is the intent of the developer to cooperate with both Inter-Canyon and Bancroft in an attempt to establish and maintain adequate fire prevention and protection measures.

The Official Development Plan contains abundant natural open areas, designated as C-0 K/C, which areas serve as fire safety zones.

To minimize fire hazards during construction, the developer shall promptly dispose of all trash, brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadways in a fire hazard-free condition. The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirements of the appropriate fire districts.

H. Easements

At the time of filing any plat for final approval, the developer shall designate such easements as are necessary for public and private utility purposes, roads, state highways, pedestrian ways, hiking, bicycling, and equestrian paths and natural drainage and 100-year flood ways.

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and regulations adopted pursuant thereto.

J. Restoration

It shall be the policy of the developer to practice restoration of the natural terrain, including the restoration and stabilization of topsoil, revegetation, reforestation and blanding of areas scarred by construction activity.

K. Building Codes

All structures to be built as part of the Ken-Caryl development will conform to the Jefferson County Building Codes then in effect.

L. Keeping of Domestic Pets

Domestic Pets, for personal use, may be kept in all residential land-use classifications provided, however, the raising of domestic pets for commercial purposes is prohibited.

IV. GENERAL ZONING REGULATIONS

A. Signs

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be set forth by the Committee or any "For Sale" or "For Lease" signs not more than three feet by two feet (3' x 2'), or plain white with black block letters.

Normal traffic and other county street signs, house numbers, name plates and other legal notices do not require Architectural Committee approval.

B. Fences and Walls, Paths and Walks

All fences and walls of any material must be approved by the Architectural Committee.

Paths and walks will be constructed by the developer and indicated on each of the recorded plats. Construction of these paths and walks will vary depending on the purposes for which they are intended.

C. Trash Disposal

Storing of refuse will be permitted only in enclosed containers, which containers shall be screened from public view. Removal of refuse will be handled by one or more of the companies currently or hereafter franchised by the Colorado Public Utilities Commission to serve this area.

D. Helicopters

No landing and take-off of helicopters or other similar aircraft shall be allowed on private or common property except at a specified location(s) and facility(ies) within the R-C K/C, C-1 K/C, I-1 K/C and I-1 K/C districts. If provided, such facility shall be subject to the approval of the Architectural Committee and the applicable county, state and federal regulatory agencies.

E. Utilities

Except in the SR-2 K/C zone, all utility lines distributing normal domestic service shall be located underground.

F. Boat, Camper and Trailer Storage

Storage of boats, campers, trailers, motor bicycles, snow-mobles, or other similar recreation vehicles shall not be permitted in the Planned Development District, except within an enclosed garage or shed, or at such designated, visually protected locations as specified by the developer at the time of filing any plat for final approval.

G. Definitions

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the meanings set forth in Section 29, Definitions, of the Jefferson County Zoning Resolution.

The term "Flag Lot" shall mean a lot shaped like a bulb and stem or a flag and flagpole, wherein the stem or pole portion of the lot fronts upon a public or private street. The minimum frontage upon a public or private street shall be twenty (20) feet. The front boundary shall begin at, and the setback line shall be measured from, the end of the stem or pole farthest from the street.

A "Building Envelope" is defined as that area with a lot in which all dwellings, garages and accessory outbuildings must be erected.

"Home Occupations" shall be all such as are approved by the Architectural Committee, and the definition thereof in Section 29 of the Jefferson County Zoning Resolutions shall not apply.

H. Actual Location Determines Applicable Zoning

In any case where a building or other structure is built or a use is made which would be permitted in a more restrictive zone, the regulations which shall apply to such building, structure or use shall nevertheless be those which are applicable to the zone district in which in fact such building or structure is built or such use is made.

V. SUBDIVISION STANDARDS

A. Street Classifications

1. The streets shown on the Official Development Plan are designated as follows:

Right-of-Way	Minimum Travelled Width
100 feet	6 Lane - Divided
100 feet	4 Lane - Divided
80 feet	4 Lane - Undivided
50 feet	2 Lane - Undivided

2. After construction, certain roads may be dedicated to Jefferson County for operation and maintenance. 6 Lane Divided, 4 Lane Divided, and 4 Lane Undivided roads located within the proposed PD District will be improved by the developer to Jefferson County Collector Road standards. 2 Lane Undivided roads will be improved by the developer to their full improvement standards.

B. Jefferson County Subdivision Ordinance

On all rights-of-way dedicated to Jefferson County, the road specifications, cut-of-the-sac design standards, drainage, radii, etc. shall conform to Jefferson County subdivision ordinance standards.

C. Street Lighting

Street lighting shall be included in all areas except the SR-2 K/C, SR-1 K/C and R-1 K/C zones.

D. I-470 Right-of-Way

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

VI. PLAN AMENDMENT

Prior to submission to the Board of Adjustment of any matter governed or meant to be governed within the Ken-Caryl Ranch Planned Development District, such matters shall first be reviewed and approved by the Architectural Committee.

VII. GENERAL RESTRICTION

All restrictions and conditions of this plan shall conform to the Jefferson County Zoning Resolution, Subdivision Regulations, engineering specifications and all other applicable county requirements in force and effective as of October 24, 1972 except as expressly stated herein.

The Ken-Caryl Ranch Planned Development District shall be subject to the filing from time to time of approved individual subdivision plats and to the recording of an approved Official Development Plan.

K

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APR OCTOBER 24, 1972 SHEET 4 OF 10

G. Apartment Residential (R-4 E/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Multiple-family dwelling.
- Private garage or parking facilities.
- Church or parish house.
- Schools, pre-schools and day nurseries.
- Public and private libraries, public and private museums; community facilities.
- Public parks, playgrounds and other public or private recreational uses.
- Nursing homes and clinics, but not including institutions exclusively for the mentally disturbed or mental defectives, or for contagious or infectious diseases.
- Commercial service activities which are accessory to the main use of the building such as cafeterias, offices, studios, and personal services such as beauty parlors, barber shops, laundry pick-up stations and pharmacies, may be conducted provided said use is contained within the main building. However, the sum total of commercial uses may not exceed more than 10% of the floor area of any single building or structure. The entrance to any such accessory business will be from inside the building. Such accessory use is one which:
 - is subordinate to and serves the principal building or principal use; and
 - is subordinate in area, extent, and purpose to the principal building or principal use served; and
 - contributes to the comfort, convenience or necessity of occupants of the principal building or principal use served; and
 - is located on the same lot as the principal building or principal use served.
- Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
- Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained, providing such facility is screened from public view to a height of six (6) feet.
- Water supply reservoirs, wells, water towers and filter beds.
- Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
 - Home occupations;
 - Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property;
 - Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

- None.

Area Regulations

- Area and Minimum Width of Lot:** For every main building hereafter erected or structurally altered, there shall be provided a minimum lot area of one-half (1/2) acre. The minimum width of lot shall be eighty-five (85) feet.
- Front Yard:** The minimum depth of front yard for buildings shall be twenty (20) feet. If parking space is to be provided in the front yard setback, it shall be screened from the street by fence, wall or planting. Said fence, wall or planting will conform to the provisions of Section IV.B.
- Side Yard:** No minimum side yard shall be required when one of the following conditions prevails:
 - Structures which abut upon a plaza, park, mall or other permanent open green space may abut the common property line and have openings onto such appurtenances.
 - Where there are no openings on a given side of a structure, that side may be placed on the property line and may abut a structure on an adjoining lot where the latter structure also has no openings on its abutting side.
 - An attached or detached garage or carport may abut a side property line or another structure provided no openings are located on the abutting surfaces.

If one of the above conditions does not prevail, a minimum setback of five (5) feet shall be required and the minimum distance between unattached structures shall be ten (10) feet which may be either on the same lot or on two adjacent lots.
- Rear Yard:** The minimum depth of all rear yards for buildings shall be ten (10) feet. If parking space is to be provided adjacent to an existing street, it shall be screened from the street by fence, wall or planting. Said fence, wall or planting will conform to the provisions of Section V.B. below.

Density Regulations

No multi-family dwelling may be constructed or altered with this zone district which contains an average density of more than thirty-five (35) dwelling units per acre.

Percentage of Lot Coverage

A minimum of thirty (30) percent of the lot area shall be retained for open space or private recreation area.

Parking Requirements

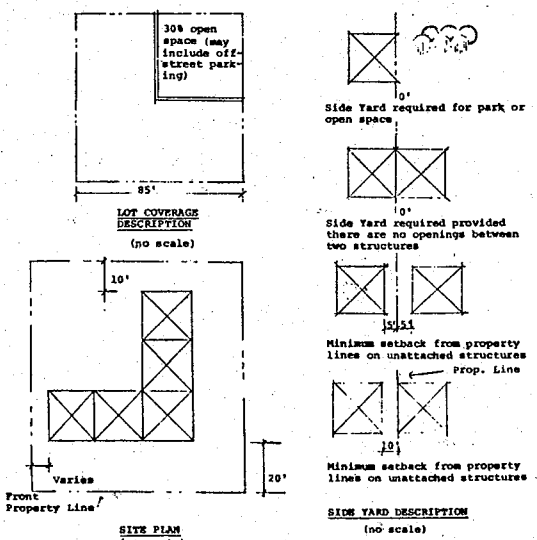
A minimum of two (2) off-street parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egress) shall be provided for each dwelling unit. The open space or private recreation area referred to above may be used in whole or in part for the off-street parking spaces required herein.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Apartment Residential (R-4 E/C)	S.F.: 21,780 (1/2 acre) minimum
2. BUILDING: Min. S.F. 250/unit Max. S.F. N/A	2 off-street spaces/unit
3. PARKING: Min. S.F. 1 off-street space/unit % of Total 50	Open Covered Underground
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS: Attached units with attached, detached, covered or underground parking	A. Site Plan Concepts: Bldg. Type Related to Land Use: Multiple family residential Structural Design: Primarily wood, masonry, concrete, or steel B. Site Drainage Concept: Surface drainage Landscape Concept: Grass, trees and shrubs Mixture of natural materials; block, brick and plaster; earth tones Building Concept: Multiple cluster residential Local street (50' R.O.W.), Collector (60' R.O.W.) or Arterial (80' - 100') C. Site Planning Concept: Street Width & Parking: Public streets

DEVELOPMENT STANDARDS		Apartment Residential (R-4 E/C)
1) Height Limit	None	
2) Area Regulations	A. Lot Size 21,780 s.f. (1/2 acre) Minimum B. Front Yard 20' C. Side Yard Varies D. Rear Yard 10'	
3) Parking Regulations	2 - off street parking spaces per unit	



H. Neighborhood Commercial (R-C E/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Business and professional offices, medical and dental clinics and enclosed small-animal veterinary hospitals.
- Post offices and banks.
- Laboratories, except those which involve any hazardous process or emit noxious noise, dust and odor.
- Service establishments, such as cleaning and pressing shops, tailor shops, dressmaking shops, barber shops, beauty parlors, watch and jewelry repairing, pharmacies, and pick-up stations for laundry and/or dry cleaning.
- Private schools (including private, vocational, trade or professional schools), pre-schools and day nurseries (including those uses commonly accepted as accessory thereto when located on the same premises).
- Community buildings, Y.M.C.A.s, Y.W.C.A.s, churches, libraries, parks, museums, aquariums and art galleries.
- Mortuaries.
- Art, photographic, dance, music, radio and television studios.
- Parking of automobiles of clients, patients, patrons or customers of the occupants of adjacent commercial districts.
- Living quarters in a building other than a dwelling.
- Package liquor stores and outlets and package three point two percent (3.2%) fermented malt beverage stores and outlets; taverns, night clubs, private clubs and bars.
- Restaurants, delicatessens, catering establishments, cafes and drive-in restaurants including the sale for consumption on the premises of liquor and three point two percent (3.2%) fermented malt beverage.
- Signs (illuminated or otherwise) identifying the use or uses on the premises where the sign is located.
- Newspaper offices and blue printing establishments.
- Rental agencies, except those for automobiles, campers, trailers or heavy equipment, provided such agencies are fully enclosed.
- Car wash, garage and/or motor fuel filling station.
- Stores for retail trade.
- Heliports, subject to the provisions of Section IV.D.
- Special trades contractors, including plumbers, carpenters and electricians.
- Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
- Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained.
- Water supply reservoirs, wells, water towers, filter beds.
- Other such similar commercial uses as listed in 1 thru 22 which are not more detrimental to uses in said district than are the uses by right hereinbefore enumerated.

Height Regulations

- No building shall exceed forty (40) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flagpoles.

Area Regulations

- Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements set out below.
- Building Setbacks: No outdoor storage of any products or parking will be allowed in the areas reserved for building setbacks. Additionally, the applicable Jefferson County Zoning Regulations regarding site distance must be followed on all building setbacks.
 - Front Yard:** The minimum front yard for any building shall be ten (10) feet.
 - Side Yard:** If a building is constructed of masonry or fireproof material, no side yard shall be required except when located on a corner lot. If a building is constructed of nonmasonry or non-fireproof materials, there shall be a side yard of not less than five (5) feet on each side. On a corner lot there shall be a side yard of not less than ten (10) feet on the side adjoining the street. On corner lots, motor fuel pumps may be erected not less than eighteen (18) feet from the side lot line on the side adjacent to the street.
 - Rear Yard:** The minimum depth of rear yard shall be five (5) feet.

Building Site Coverage

Maximum building coverage of fifty (50) percent is allowed. Parking spaces and/or parking structures shall not be calculated as building area and shall be allowed in the fifty (50) percent open area.

Parking Requirements

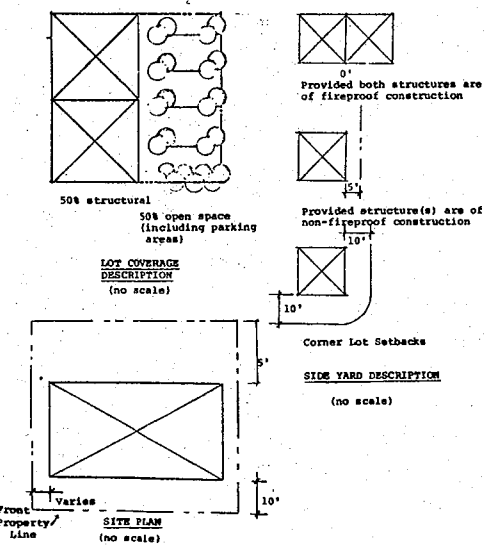
The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Zoning Resolution.

**KEN-CARYL RANCH
PLANNED DEVELOPMENT DISTRICT**

1. LAND USE TYPE: Neighborhood Commercial (R-C E/C)	S.F.: (No minimum)
2. BUILDING: Min. S.F. 2,500 Max. S.F. 150,000	
3. PARKING: Min. S.F. 7,500 Max. S.F. 450,000	Open: Min. S.F. 7,500 % of Total 100 Covered: Min. S.F. 0 % of Total 0 Underground: Min. S.F. 0 % of Total 0
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS: Attached & detached business with common parking	A. Site Plan Concept: Bldg. Type Related to Land Use: Multi-tenant buildings Structural Design: Primarily masonry, concrete, or steel B. Site Drainage Concept: Surface drainage Landscape Concept: Building setbacks & parking islands to be bounded & landscaped w/grass, trees, shrub, brick and plaster earth tones Building Concept: Pedestrian oriented cluster shopping related parking areas C. Site Planning Concept: Local (50'), Collector (60') or Arterial (80' - 100') Circulation: Public streets

DEVELOPMENT STANDARDS

1) Height Limit	40' Maximum
2) Area Regulations	A. Lot Size No restrictions B. Front Yard 10' C. Side Yard Varies D. Rear Yard 5'
3) Parking Regulations	See Sec. 21F and 21G of the Jefferson County Zoning Resolution



THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24, 1972 SHEET 8 OF 10

WITHIN THIS USE AREA WILL BE RESERVED 10 ACRES FOR ELEMENTARY SCHOOL, SITE AND 20 ACRES OF OPEN SPACE (C-0 R/C). THESE ARE PERMITTED USES WITHIN THIS AREA.
 20 ACRES OF USABLE PARK OR PARS SHALL BE PROVIDED. COMPLIANCE TO ACREAGE REQUIREMENTS SHALL NOT INCLUDE FLOOD PLAINS DEEMED UNSUITABLE FOR RECREATIONAL USE BY THE COUNTY AND GREENBELTS/BUFFERS OF LESS THAN 100 FEET IN WIDTH. THE PARK OR PARS SHALL HAVE PEDESTRIAN ACCESS TO THE OPEN SPACE AREAS TO THE SOUTHWEST, NORTHEAST, AND NORTHWEST AS WELL AS THE R/C R-18 AREA TO THE NORTH. AS MUCH AS PRACTICAL THE MAJORITY OF THE PARK AREA SHOULD BE CONTIGUOUS TO THE REQUIRED 10 ACRE SCHOOL SITE. MINIMUM SINGLE PARK SITE SHALL BE 1/2 ACRE.

- GENERAL NOTES:**
1. A 150-FOOT COMMON OPEN SPACE BUFFER SHALL BE PROVIDED SOUTH OF AND CONTIGUOUS TO THE NORTHERN BOUNDARY OF THE NORTH RANCH.
 2. NO VEHICULAR ACCESS WILL BE PERMITTED TO EXTEND NORTH TO WILLOWBROOK SUBDIVISION OR TO PROVIDE FOR A THROUGHWAY TO BELLEVUE.
 3. ALL PRIOR AMENDED OFFICIAL DEVELOPMENT PLAN SHEETS WHICH REFER TO SHEET 12 IN PART OR IN TOTAL NOW REFER TO SHEET 17.

APPROVAL

THIS SHEET SUPERSEDES SHEET 17 WHICH IS RECORDED IN ODP BOOK 13 AT PAGE 51.

THE AMENDED OFFICIAL DEVELOPMENT PLAN SHEET 17 OF THE KEN-CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 22ND DAY OF ~~APRIL~~ **1978**.

BOARD OF COUNTY COMMISSIONERS

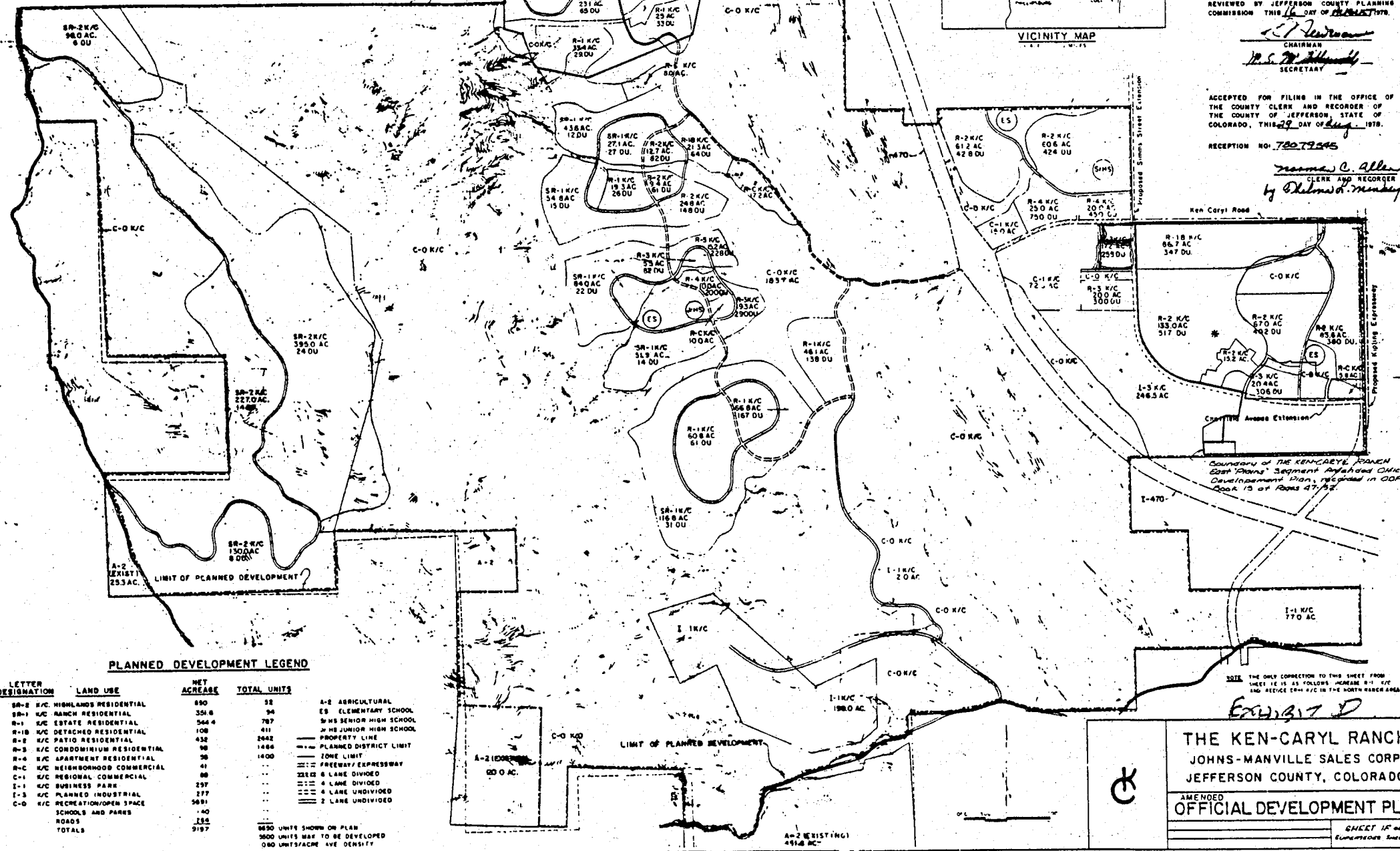
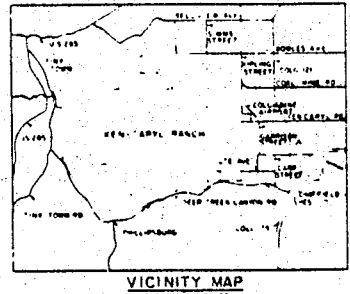
Donald C. Allen
 CHAIRMAN

James C. Allen
 SECRETARY

REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 16TH DAY OF ~~APRIL~~ **1978**.

J. Peterson
 CHAIRMAN

W. S. M. Williams
 SECRETARY



PLANNED DEVELOPMENT LEGEND

LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS
SR-2 R/C	HIGHLANDS RESIDENTIAL	850	52
SR-1 R/C	RANCH RESIDENTIAL	354.8	34
R-1 R/C	ESTATE RESIDENTIAL	544.4	787
R-1B R/C	DETACHED RESIDENTIAL	108	411
R-2 R/C	PATIO RESIDENTIAL	438	2642
R-3 R/C	CONDOMINIUM RESIDENTIAL	98	1486
R-4 R/C	APARTMENT RESIDENTIAL	58	1400
R-5 R/C	NEIGHBORHOOD COMMERCIAL	41	...
C-1 R/C	REGIONAL COMMERCIAL	80	...
I-1 R/C	BUSINESS PARK	297	...
I-3 R/C	PLANNED INDUSTRIAL	277	...
C-0 R/C	RECREATION/OPEN SPACE	5891	...
	SCHOOLS AND PARS	140	...
	ROADS	135	...
	TOTALS	9197	...

- A-2 AGRICULTURAL
- ES ELEMENTARY SCHOOL
- SHS SENIOR HIGH SCHOOL
- JHS JUNIOR HIGH SCHOOL
- PROPERTY LINE
- PLANNED DISTRICT LIMIT
- ZONE LIMIT
- FREEWAY/EXPRESSWAY
- 33 FEET 6 LANE DIVIDED
- 4 LANE DIVIDED
- 2 LANE UNDIVIDED
- 2 LANE UNDIVIDED

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 29 DAY OF ~~APRIL~~ **1978**.

RECEPTION NO. 78079545

James C. Allen
 CLERK AND RECORDER

By Donald C. Allen

THE KEN-CARYL RANCH
 JOHNS-MANVILLE SALES CORP.
 JEFFERSON COUNTY, COLORADO

AMENDED
OFFICIAL DEVELOPMENT PLAN

SHEET 15 OF 19
 (ENCLOSURE SHEET 15)

301K THE ONLY CORRECTION TO THIS SHEET FROM SHEET 12 IS AS FOLLOWS: INCREASE R-1 R/C AND REDUCE C-0 R/C IN THE NORTH RANCH AREA.

EXHIBIT D

p13-69

THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN

All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 11, 1973, in ODP Book 3, pages 1 through 10 of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended to date of recordation hereof. The Official Development Plan of The Ken-Caryl Ranch is amended as follows:

J. Planned Industrial (I-1 E/C)

Use Regulations

No building or land shall be used and no building shall hereafter be erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Manufacturing, processing, fabrication, distribution or assembly of any commodity provided such uses relate directly to other permitted uses set out below. Assembly uses are limited to light industrial uses only.
- Wholesale sales, warehousing, distribution or storage of any commodity specifically permitted under the following use regulations, with the following exceptions:
 - No live animals, commercial explosives or above-ground bulk storage of flammable liquids or gases may be included.
 - Sales, warehouse or storage of junk, including machinery or vehicles not in operating condition, may be permitted only if contained within a building.
- Sale at retail of any commodity, manufactured, processed fabricated or warehoused on the premises.
- Sale at retail of hardware or equipment, supplies and materials (except commercial explosives) for agriculture, mining, industry, business, transportation, building and other construction.
- Repair, rental and servicing of any commodity, the manufacture, processing, fabrication, warehousing, distribution or sale of which is permitted.
- Government buildings or uses such as police stations, fire stations, post offices, and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations.
- Parking of motor vehicles.
- Terminals for transportation and public transit vehicles (except truck terminals).
- Motor vehicle service or gasoline filling stations (total number of such facilities not to exceed five (5)).
- Research and development facilities and office buildings.
- Hospitals and medical buildings.
- Banks, offices, laboratories, blueprinting establishments, restaurants and private clubs (including the sale for consumption on the premises of liquor and three point two (3.2%) percent fermented malt beverages).
- Management-seminar complexes.
- Ambulance services.
- Heliports, subject to the provisions of Section IV.D.
- Outdoor advertising devices, subject to the provisions of Section IV.A.
- Assembly of light industrial products.
- Accessory uses: Residential units limited to a maximum of ten (10) percent of the total gross floor area of any one project/or development (all residential units must be integrated into proposed buildings).
- The uses hereinabove set forth shall be subject to the following limitations and conditions:
 - Every use shall be so separated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
 - Every use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point on any boundary line of the lot on which the use is located.
 - Every use shall be so operated that it does not emit an obnoxious or dangerous degree of heat, glare radiation or fumes beyond any boundary line of the lot on which the use is located.
 - All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
 - No materials or wastes shall be deposited upon a lot in such form or manner that they may be transferred off the lot by natural causes or forces.

Off-street Parking Requirements

Off-street parking spaces shall be provided for buildings and uses as hereinafter specified. These provisions shall apply to the entire parcel with the exception of Lot 1, Block 1, Ken-Caryl Ranch "Plains" Phase I-A, Amendment No. 1; Lot 2, Block 1, Ken-Caryl Ranch "Plains" Phase I-A; Lots 1 and 2, Ken-Caryl Ranch "Plains" Phase VIII-A; Lot 18, Block 5, Ken-Caryl Ranch "Plains" Phase VIII-B; Ken-Caryl Ranch "Plains" Phase VIII-C; and Ken-Caryl Ranch "Plains" Phase I-G.

- Location:** Parking areas shall be provided upon the same lot containing the use for which they are required or on separate lots within a 500 foot radius of the lot containing the use for which they are required. Such separate lots and the lot containing the use for which they are required shall be held under unified ownership or control, or the owner of the lot containing the use for which the off-street parking is required shall hold a parking easement in such separate lot.
- Screening:** Any off-street parking area shall be provided a planting screen, landscaped fence or wall abutting streets and adjacent properties.
- Determination of Need:** The number of parking spaces required shall be based upon the anticipated parking demand of the individual uses and shall be as designated for specific uses and situations as follows:
 - Office uses:** Four (4) parking spaces for each 1000 square feet of gross leasable floor area.
 - Industrial, Storage, Warehouse uses:** One (1) parking space for each 1000 square feet of gross leasable floor area.
 - Retail/Service uses:** Six (6) parking spaces for each 1000 square feet of gross leasable floor area.
 - Restaurants and Lounges:** Ten (10) parking spaces for each 1000 square feet of gross leasable floor area.
 - Medical and Dental Offices/Clinics:** Five (5) parking spaces for each 1000 square feet of gross leasable floor area.

Alternative Off-Street Parking Requirements

Those requirements set forth in Sections 21.F and 21.G. of the Jefferson County Zoning Resolutions.

Height Regulations

- None

Area Regulations

- Area and Minimum Width of Lot:** No restrictions other than the Building Site Coverage set out below and Parking Requirements set out above.
- Front Yard:** Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that setback on a county arterial shall be a minimum of forty (40) feet. Motor fuel pumps may be erected not less than eighteen (18) feet from such front lot line.
- Side Yard:** If a building is constructed of masonry or fireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed of materials other than masonry or fireproof materials, the minimum depth of any side yard of an interior lot or 1/4 yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side setback line, shall be five (5) feet. On corner lots, the minimum depth of the side yard on the side adjacent to a street, measured from the side lot line to the side setback line, shall be thirty (30) feet. On corner lots, motor fuel pumps may be erected not less than eighteen (18) feet from the side lot line on the side adjacent to a street.
- Rear Yard:** No rear yard setback.

Multiple Structures

Multiple structures/buildings shall be permitted on a single lot. Such structures/buildings shall be designed into an integrated plan for the site.

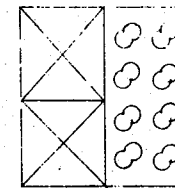
Building Site Coverage

Maximum building coverage of fifty (50%) percent is allowed. Parking spaces and/or structures shall not be calculated as building area and shall be allowed in the fifty (50%) percent open area.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT:

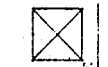
1. LAND USE TYPE:	Planned Industrial (I-1 E/C)
S.F.:	(No Minimum)
2. BUILDING:	Min. S.F. 5,000 Max. S.F. 5,700,000
3. PARKING:	Min. S.F. See Above Max. S.F. N/A
Open	N/A
Covered	Min S.F. See Above % of Total
Underground	
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:	
A. Site Plan Concepts:	Individual sites and building clusters
Bldg. Type Related to Land Use:	Single & multi-tenant buildings
Structural Design:	Primarily frame, masonry, concrete, or steel
B. Site drainage Concept:	Surface drainage
Landscaping Concept:	Building setbacks and parking islands to be landscaped with grass, trees, shrubs, rocks
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
C. Site Planning Concept:	Planned industrial and business park subdivision
Street Width & Parking:	Local (50'), Collector (60') and Arterials (80'-100') R.O.W.
Circulation:	Public Streets
DEVELOPMENT STANDARDS	Planned Industrial (I-1 E/C)
1) Height limit	None
2) Area Regulations	
A. Lot Size	No restrictions
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	See Above



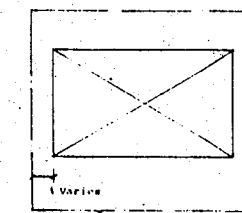
50% structural
50% open space (including parking areas)



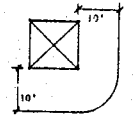
Provided both structure and fireproof construction




LOT COVERAGE DESCRIPTION
(No notes)



Provided structural are of non-fireproof construction



CORNER LOT SETBACKS
10' 10'



THE KEN-CARYL RANCH
(NORTH PLAINS SEGMENT)
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

**AMENDED
OFFICIAL DEVELOPMENT PLAN**

SHEET 2 of 2

III. OUTLINE OF PROPOSED KEN-CARYL RANCH PLANNED DEVELOPMENT DISTRICT

A. Purpose and Intent

This application for a Planned Development District, which encompasses most of the Ken-Caryl Ranch in Jefferson County, Colorado, is the result of 14 months of extensive and deliberate analysis, evaluation, and planning efforts of Johns-Manville Sales Corporation and a wide variety of professional and technical consultants, including experts in the fields of economics, geology, hydrology, transportation, civil engineering, land use planning, environmental, ecology, architecture, and sociology.

The evaluation and analysis efforts of this planning group were initially directed toward the development of (1) a documentation and understanding of the present existing character and (2) an investigation and analysis of the existing and future needs and pressures for economic development in both the local area surrounding the Ranch and in Jefferson County as a whole. Considerable attention was also given to Jefferson County's assessment of the desired direction and intensity of development for the County, as set out in the County's Master Plan.

On the basis of the above studies of the existing uses and forecasted development trends, the efforts of the planning group were then directed toward the development of a land-use plan for the Ranch which would most fully serve the future needs of the County while causing a minimum disruption of existing land uses in the area.

This application represents the results of the planning group's efforts to achieve the above-stated goals. The development of the plan for the Ranch presented a unique challenge for the planning group because of the variety of geophysical conditions, environmental resources, and points of historical importance on the Ranch. In order to meet the challenge of preserving and maximizing the benefits of these values, the planning group was required to create development concepts for the Ranch which, while maintaining an internal continuity of design and fulfilling all of the requirements of the County Master Plan, are not specifically provided for within the zoning resolutions or subdivision regulations of Jefferson County.

B. Planned Development Statistics

The Jefferson County Comprehensive Future Land Use Plan (1967) and the Jefferson County Future Land Use Plan - Mountain Area (1972) designate a total maximum population for the lands included within the proposed PD district of 32191 or, translated to dwelling units, 6849 units.

However, Johns-Manville agrees to limit the total number of dwelling units within the proposed PD district to a total of 5500 units, or an average density of .60 dwelling units per acre. The residential population at the end of the approximate 20-year development life of the project, based on the 5500 unit limitation, is estimated to be 17829.

Prior to the time of final platting, it is difficult to determine the precise mix between dwelling unit types. Therefore, a total of 4,650 dwelling units is indicated on the proposed Official Development Plan. The following table summarizes the land uses, acreages, and dwelling units as shown on the proposed Official Development Plan.

Land Use	Letter Designation	Net Acreage	Total Units
Highlands Residential	SR-2 K/C	850	52
Ranch Residential	SR-1 K/C	454	122
Estates Residential	R-1 K/C	442	739
Detached Residential	R-1B K/C	109	411
Patio Residential	R-3 K/C	374	2442
Condominium Residential	R-3 K/C	98	1464
Apartment Residential	R-4 K/C	55	1400
Neighborhood Commercial	K-C K/C	41	
Regional Commercial	C-1 K/C	88	
Planned Industrial	I-3 K/C	237	
Business Park	I-1 K/C	277	
Recreation and Open Space	C-O K/C	5691	
Schools and Parks		148	
Roads		264	
TOTALS		9119	6550

C. Water and Sanitation Services

In the highlands area, which constitutes approximately 850 acres of the Ken-Caryl Ranch and includes a total of 32 parcels, water and sanitation facilities will be furnished respectively by wells and septic tanks drilled and constructed in strict accordance with all applicable state and county statutes, ordinances, rules, and regulations.

A special district, The Ken-Caryl Ranch Water & Sanitation District, will be organized under Chapter 39 of the Colorado Revised Statutes over the lands covered by this application exclusive of the forecasted highlands area. Negotiations are under way with the Denver Water Board for the sale and delivery of water by the City and County of Denver to the District. Negotiations are under way with the Southwest Metropolitan Water and Sanitation District for joint use by the District of Southwest's existing outfall sewage lines as well as the construction and joint use of new sewage outfall lines to the treatment facilities of the City of Littleton. Negotiations are under way with the City of Littleton for the treatment of such sewage.

Financial consultants have been retained for assistance with respect to issuance of general obligation bonds of the District to finance the construction of the major water transmission lines, storage reservoirs and outfall sewer lines. The local distribution systems and sewage collection system will be installed by the District for operation and maintenance.

The District's Service Plan, prepared pursuant to Chapter 39, will cover the same area as the District. Final ruling on the Service Plan by the Board of County Commissioners is expected prior to action by the Board on the within application. Formation of The Ken-Caryl Ranch Water & Sanitation District will be completed after the Board of County Commissioners rules on this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

1. Master Association

a. Organization

Johns-Manville will organize a non-profit corporation or unincorporated association (the "Master Association") for general management and administration of the recreation, open space and common areas. As various parts of the Ranch are platted and other than those areas to be dedicated to governmental bodies or to be conveyed for private ownership, which are included within each respective plat will be conveyed to the Master Association.

b. Membership

Membership in the Master Association will be mandatory upon all landowners within the Ranch and will run with ownership of the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the general benefit and enjoyment of the owners and occupants of the Ken-Caryl Ranch. In implementation of this primary purpose, the Master Association will have power to own and operate, and to sell, lease, and dedicate lands for all variety of recreational uses consistent with the zoning application to such lands. The Master Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon its members to cover its expense of operation. The Master Association shall also have authority to levy assessments against specific local areas to be assessed for the benefit of the properties so assessed. All assessments shall constitute liens which may be foreclosed if not paid when due. Its duties will also include enforcement of restrictive covenants application to the Ken-Caryl Ranch.

d. Rules

The Master Association members will meet annually for the election of directors, who in turn will select the officers. The officers and directors of the Master Association will meet as regularly as necessary for orderly operation and administration. The Master Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

e. Architectural and Environmental Control Committee

An Architectural and Environmental Control Committee (hereinafter the Architectural Committee) will be appointed by the board of directors. Its primary function will be to insure that all development is in full compliance with this Planned Development District Zoning Ordinance, applicable restrictive covenants, and such rules and regulations as may be adopted from time to time by the Architectural Committee.

2. Sub-Associations

a. Organization

Johns-Manville will organize non-profit corporations or unincorporated associations (hereinafter the "Sub-Associations") for localized areas within the Ken-Caryl Ranch to further the specific needs, desires and interests of the owners and occupants of such localized areas.

b. Membership

Membership in the Sub-Associations will be mandatory upon all landowners within the affected areas and will run with the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority

Except as reserved to itself by the Master Association or the Architectural Committee, the duties, powers and authority of the Sub-Associations shall be as set forth below.

The primary purpose of each Sub-Association will be to own, operate and administer the recreation, open space and common areas within its specific area for the general welfare and enjoyment of the owners and occupants thereof. In implementation of this primary purpose, each Sub-Association will have the power to own and operate, and to sell, lease and dedicate lands for all variety of recreational uses consistent with the zoning applicable to such lands. Each Sub-Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon its members to cover its expense of operation. All assessments shall constitute liens which may be foreclosed if not paid when due. The Sub-Associations may delegate to the Master Association, with its approval, the right to collect such assessments. The duties of each Sub-Association may also include enforcement of restrictive covenants applicable to its specific area.

d. Rules

Each Sub-Association will meet annually for election of directors, who in turn will select the officers. The officers and directors will meet as regularly as necessary for orderly operation and administration. Each Sub-Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

E. Schools

In discussions with the Jefferson County K-1 School District, it has been determined that the Ken-Caryl Ranch planned development and the surrounding planning areas will require a total of five elementary schools, one junior high school, and one senior high school. These school sites are tentatively located on the proposed Official Development Plan included with this filing. At the time of filing for final plat approval any plat upon which will be located a school site, the site will be mutually agreed upon as to exact location between the developer and the District, and the developer will reserve and dedicate the site to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is as follows:

Elementary School	17 acres
Junior High School	20 acres
Senior High School	35 acres

F. Access

Interstate-470, as planned by the State Division of Highways, generally parallel to the Dakota Road. It is estimated that construction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chatfield Avenue westerly from its existing terminus at South Garrison Street to the property boundary. Off-site right of way has not been acquired for this route. Other access routes shown on the Jefferson County Master Plan of Highways are: South Simms Street southerly to a connection with Chatfield Avenue, Ken-Caryl Road westerly to an interchange with I-470, Kipling southerly to an interchange with I-470 and existing Deer Creek and Turkey Creek Roads.

G. Fire Prevention and Protection

The property included in this PD application currently lies within two fire districts - Inter-Canyon Fire Protection District. Additionally, there are approximately 840 acres which are not currently within either of these two districts. It is the intent of the developer to cooperate with local Inter-Canyon and Sandcroft in an attempt to establish and maintain adequate fire prevention and protection measures.

The Official Development Plan contains abundant natural open areas, designated as C-O K/C, which areas serve as fire safety zones.

To minimize fire hazards during construction, the developer shall promptly dispose of all brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadsides in a fire hazard-free condition.

The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirements of the appropriate fire districts.

H. Easements

At the time of filing any plat for final approval, the developer shall designate such easements as are necessary for public and private utility purposes, roads, state highways, pedestrian ways, hiking, bicycling, and equestrian paths and natural drainage and 100-year flood ways.

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and regulations adopted pursuant thereto.

J. Restoration

It shall be the policy of the developer to practice restoration of the natural terrain, including the replacement and stabilization of topsoil, revegetation, reforestation and blending of areas scarred by construction activity.

K. Building Codes

All structures to be built as part of the Ken-Caryl development will conform to the Jefferson County Building Codes then in effect.

L. Keeping of Domestic Pets

Domestic Pets, for personal use, may be kept in all residential land-use classifications provided, however, the raising of domestic pets for commercial purposes is prohibited.

IV. GENERAL ZONING REGULATIONS

A. Signs

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be set forth by the Committee or any "For Sale" or "For Lease" signs not more than three feet by two feet (3' X 2'), of plain white with black block letters.

Normal traffic and other county street signs, house numbers, name plates and other legal notices do not require Architectural Committee approval.

B. Fences and Walls, Paths and Walks

All fences and walls of any material must be approved by the Architectural Committee.

Paths and walks will be constructed by the developer and indicated on each of the recorded plats. Construction of these paths and walks will vary depending on the purposes for which they are intended.

C. Trash Disposal

Storing of refuse will be permitted only in enclosed containers, which containers shall be screened from public view. Removal of refuse will be handled by one or more of the companies currently or hereafter franchised by the Colorado Public Utilities Commission to serve this area.

D. Helicopters

No landing and take-off of helicopters or other similar aircraft shall be allowed on private or common property except at a specified location(s) and facility(ies) within the K-C K/C, C-1 K/C, I-3 K/C and I-1 K/C Districts. If provided, such facility shall be subject to the approval of the Architectural Committee and the applicable County, state and federal regulatory agencies.

E. Utilities

Except in the SR-2 K/C zone, all utility lines distributing normal domestic service shall be located underground.

F. Boat, Camper and Trailer Storage

Storage of boats, campers, trailers, motor bicycles, snow-mobles, or other similar recreation vehicles shall not be permitted in the Planned Development District, except within an enclosed garage or shed, or at such designated, visually protected locations as specified by the developer at the time of filing any plat for final approval.

G. Definitions

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the meanings set forth in Section 29, Definitions, of the Jefferson County Zoning Resolution.

The term "Flag Lot" shall mean a lot shaped like a bulb and stem or a flag and flange, wherein the stem or pole portion of the lot front upon a public or private street. The minimum frontage upon a public or private street shall be twenty (20) feet. The front yard shall begin at, and the setback line shall be measured from, the end of the stem or pole farthest from the street.

A "Building Envelope" is defined as that area with a lot in which all dwellings, garages and accessory outbuildings must be erected.

"Home Occupations" shall be all such as are approved by the Architectural Committee, and the definition thereof in Section 29 of the Jefferson County Zoning Resolutions shall not apply.

H. Actual Location Determines Applicable Zoning

In any case where a building or other structure is built or a use is made which would be permitted in a more restrictive zone, the regulations which shall apply to such building, structure or use shall nevertheless be those which are applicable to the zone district in which in fact such building or structure is built or such use is made.

V. SUBDIVISION STANDARDS

A. Street Classifications

The streets shown on the Official Development Plan are designated as follows:

Right-Of-Way	Minimum Traveled Width
100 feet	6 Lane - Divided
100 feet	4 Lane - Divided
50 feet	4 Lane - Undivided
50 feet	2 Lane - Undivided

2. After construction, certain roads may be dedicated to Jefferson County for operation and maintenance. 6 Lane Divided, 4 Lane Divided, and 4 Lane Undivided roads located within the proposed PD District will be improved by the developer to Jefferson County Collector Road standards. 2 Lane Undivided roads will be improved by the developer to their full improvement standards.

B. Jefferson County Subdivision Ordinance

On all rights-of-way dedicated to Jefferson County, the road specifications, cul-de-sac design standards, drainage, radii, etc. shall conform to Jefferson County subdivision ordinance standards.

C. Street Lighting

Street lighting shall be included in all areas except the SR-2 K/C, SR-1 K/C and R-1 K/C zones.

D. I-470 Right-of-Way

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

VI. PLAN AMENDMENT

Prior to submission to the Board of Adjustment of any matter governed or meant to be governed within the Ken-Caryl Ranch Planned Development District, such matters shall first be reviewed and approved by the Architectural Committee.

VII. GENERAL RESTRICTIONS

All restrictions and conditions of this Plan shall conform to the Jefferson County Zoning Resolution, Subdivision Regulations, engineering specifications and all other applicable county requirements in force and effective as of October 24, 1972 except as expressly stated herein.

The Ken-Caryl Ranch Planned Development District shall be subject to the filing from time to time of approved incremental subdivision plats and to the recording of an approved Official Development Plan.

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO



OFFICIAL DEVELOPMENT PLAN

DATE APR. OCTOBER 24, 1972 SHEET 4 OF 10

III. OUTLINE OF PROPOSED KEN-CARYL RANCH PLANNED DEVELOPMENT DISTRICT

A. Purpose and Intent

This application for a Planned Development District, which encompasses most of the Ken-Caryl Ranch in Jefferson County, Colorado, is the result of 14 months of extensive site analysis, evaluation, and planning efforts of Johns-Manville Sales Corporation and a wide variety of professional and technical consultants, including expertise in the fields of economic geography, hydrology, transportation, civil engineering, land use planning, environmental, ecology, architecture, and sociology.

The evaluation and analysis efforts of this planning group were initially directed toward the development of (1) a documentation and understanding of the presently existing character and (2) an investigation and analysis of the existing and future needs and pressures for economic development in both the local area surrounding the Ranch and in Jefferson County as a whole. Considerable attention was also given to Jefferson County's assessment of the desired direction and intensity of development for the County, as set out in the County's Master Plan.

On the basis of the above studies of the existing uses and forecasted development trends, the efforts of the planning group were then directed toward the development of a land-use plan for the Ranch which would most fully serve the future needs of the County while causing a minimum disruption of existing land uses in the area.

This application represents the results of the planning group's efforts to achieve the above-stated goals. The development of the plan for the Ranch presented a unique challenge for the planning group because of the variety of geological conditions, environmental resources, and points of historical importance on the Ranch. In order to meet the challenge of preserving and maximizing the benefits of these values, the planning group was required to create development concepts for the Ranch which, while maintaining an internal continuity of design and fulfilling all of the requirements of the County Master Plan, are not specifically provided for within the zoning resolutions or subdivision regulations of Jefferson County.

B. Planned Development Statistics

The Jefferson County Comprehensive Future Land Use Plan (1977) and the Jefferson County Future Land Use Plan Mountain Area (1972) designate a total maximum population for the lands included within the proposed PD district of 22191 or, translated to dwelling units, 4849 units.

However, Johns-Manville agrees to limit the total number of dwelling units within the proposed PD district to a total of 5500 units, or an average density of .49 dwelling units per acre. The residential population at the end of the approximate 20-year development life of the project, based on the 5500 unit limitation, is estimated to be 17430.

Prior to the time of final platting, it is difficult to determine the precise number of dwelling units to be developed. A total of 8,650 dwelling units is indicated on the proposed Official Development Plan. The following table summarizes the land uses, acreages, and dwelling units as shown on the proposed Official Development Plan.

Land Use	Designation	Net Acreage	Total Units
Highlands Residential	SR-2 K/C	850	52
Ranch Residential	SR-1 K/C	454	122
Estate Residential	R-1 K/C	442	759
Detached Residential	R-1B K/C	108	411
Patio Residential	R-2 K/C	374	2442
Condominium Residential	R-3 K/C	98	1464
Apartment Residential	R-4 K/C	55	1400
Neighborhood Commercial	R-C K/C	41	
Regional Commercial	C-1 K/C	88	
Planned Industrial	I-3 K/C	257	
Business Park	I-1 K/C	277	
Recreation and Open Space	C-0 K/C	3691	
Schools and Parks		149	
Roads		264	
TOTALS		9139	6550

C. Water and Sanitation Services

In the highlands area, which constitutes approximately 850 acres of the Ken-Caryl Ranch and includes a total of 51 parcels, water and sanitation facilities will be furnished respectively by wells and septic tanks drilled and constructed in strict compliance with all applicable state and county statutes, ordinances, rules, and regulations.

A special district, the Ken-Caryl Ranch Water & Sanitation District, will be organized under Chapter 39 of the Colorado Revised Statutes over the lands covered by this application exclusive of the aforesaid highlands area. Negotiations are under way with the Denver Water Board for the sale and delivery of water by the City and County of Denver to the District. Negotiations are under way with the Southwest Metropolitan Water and Sanitation District for joint use by the District of Southwest's existing outfall sewage lines as well as the construction and joint use of new sewer outfall lines to the treatment facilities of the City of Littleton. Negotiations are under way with the City of Littleton for the treatment of such sewage.

Financial consultants have been retained for assistance with respect to the financing of sewer collection lines. The local distribution sewer and sewage collection system will be installed by the

The District's Service Plan, prepared pursuant to Chapter 39, will cover the same area as the District Plan. Paving on the Service Plan by the Board of County Commissioners is expected prior to action by the Board on the within application. Formation of The Ken-Caryl Ranch Water & Sanitation District will be completed after the Board of County Commissioners rules on this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

1. Master Association

a. Organization

Johns-Manville will organize a non-profit corporation or unincorporated association (the "Master Association") for general ownership and administration of the recreation, open space and common areas. As various parts of the Ranch are placed in such areas, other than those which are then dedicated to governmental bodies or to be conveyed for private ownership, which are included within each respective plat will be conveyed to the Master Association.

b. Membership

Membership in the Master Association will be mandatory upon all landowners within the Ranch and will run with ownership of the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the general welfare and enjoyment of the owners and occupants of the Ken-Caryl Ranch. In implementation of this primary purpose, the Master Association will have power to own and operate, and to sell, lease, and dedicate lands for all variety of recreational uses consistent with the zoning application to such lands. The Master Association will pay all operational expenses, including any ad valorem taxes on the lands held in its name, and will levy equitable assessments upon the members to cover its expenses of operation. The Master Association shall also have authority to levy assessments against specific local areas to be expended for the benefit of the properties so assessed. All assessments shall constitute liens which may be foreclosed if not paid when due. Its duties will also include enforcement of restrictive covenants applicable to the Ken-Caryl Ranch.

d. Rules

The Master Association members will meet annually for the election of directors, who in turn will elect the officers. The officers and directors of the Master Association will meet as regularly as necessary for orderly operation and administration. The Master Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

e. Architectural and Environmental Control Committee

An Architectural and Environmental Control Committee (hereinafter the Architectural Committee) will be appointed by the Board of directors. Its primary function will be to insure that all development is in full compliance with this Planned Development District Zoning Ordinance, applicable restrictive covenants, and such rules and regulations as may be adopted from time to time by the Architectural Committee.

2. Sub-Associations

a. Organization

Johns-Manville will organize non-profit corporations or unincorporated associations (hereinafter the "Sub-Associations") for localized areas within the Ken-Caryl Ranch to further the specific needs, desires and interests of the owners and occupants of such localized areas.

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Each Sub-Association will meet annually for election of its directors, who in turn will elect the officers. The officers and directors will meet as regularly as necessary for orderly operation and administration. Each Sub-Association will prepare, promulgate and enforce such rules and regulations as are necessary to effect its purposes.

E. Schools

In discussions with the Jefferson County R-1 School District, it has been determined that the Ken-Caryl Ranch planned development and the surrounding planning area will require a total of five elementary schools, one junior high school, and one senior high school.

These school sites are tentatively located on the proposed Official Development Plan included with this filing. Prior to the time of filing for final plat approval any plat upon which will be located a school site, the site will be mutually agreed upon as to exact location between the developer and the District, and the developer will reserve and dedicate the site to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is as follows:

Elementary School	17 acres
Junior High School	10 acres
Senior High School	15 acres

F. Access

Interstate-470, as planned by the State Division of Highways, extends through the Ken-Caryl development in a north-south direction generally parallel to the Dakota highway. It is estimated that construction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chaffield Avenue westerly from its existing terminus at South Garrison Street to the property boundary. Off-street right-of-way has not been acquired for this route. Other access routes shown on the Jefferson County master plan of highways are: South Simms Street southerly to a connection with Chaffield Avenue, Ken-Caryl Road westerly to an interchange with I-470, Kipling southerly to an interchange with I-470 and existing Deer Creek and Turkey Creek Roads.

G. Fire Prevention and Protection

The property included in this PD application currently lies within two fire districts - Inter-Canyon Fire Protection District and Bancroft Fire Protection District. Additionally, there are approximately 840 acres which are not currently within either of these two fire districts. It is the intent of the developer to cooperate with both Inter-Canyon and Bancroft in an attempt to establish and maintain adequate fire prevention and protection measures.

The Official Development Plan contains abundant natural open areas, designated as C-0 K/C, which areas serve as fire safety zones.

To minimize fire hazards during construction, the developer shall promptly dispose of all trash, brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadways in a fire hazard-free condition.

The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirements of the appropriate fire districts.

H. Assessments

At the time of filing any plat for final approval, the developer shall designate such assessments as are necessary for public and private utility purposes, roads, state highways, pedestrian ways, hiking, bicycling, and equestrian paths and natural drainage and 100-year flood ways.

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and regulations adopted pursuant thereto.

J. Restoration

It shall be the policy of the developer to practice restoration of the natural terrain, including the replacement and stabilization of topsoil, revegetation, reforestation and blanding of areas scarred by construction activity.

K. Building Codes

All structures to be built as part of the Ken-Caryl development will conform to the Jefferson County Building Codes then in effect.

L. Keeping of Domestic Pets

Domestic Pets, for personal use, may be kept in all residential land-use classifications provided, however, the raising of domestic pets for commercial purposes is prohibited.

IV. GENERAL ZONING REGULATIONS

A. Signs

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be set forth by the Committee or any "For Sale" or "For Lease" signs not more than three feet by two feet (3' x 2'), of plain white with black block letters.

Normal traffic and other county street signs, house numbers, name plates and other legal notices do not require Architectural Committee approval.

B. Fences and Walls, Paths and Walks

All fences and walls of any material must be approved by the Architectural Committee.

Paths and walks will be constructed by the developer and indicated in each of the recorded plats. Construction of these paths and walks will vary depending on the purposes for which they are intended.

C. Trash Disposal

Storing of refuse will be permitted only in enclosed containers, which containers shall be screened from public view. Removal of refuse will be handled by one or more of the companies currently or hereafter franchised by the Colorado Public Utilities Commission to serve this area.

D. Heliports

No landing and take-off of helicopters or other similar aircraft shall be allowed on private or common property except at a specified location(s) and facility(ies) within the R-0 K/C, R-1 K/C and R-1 K/C districts. If provided, such facility shall be subject to the approval of the Architectural Committee and the applicable county, state and federal regulatory agencies.

E. Utilities

Except in the SR-2 K/C zone, all utility lines distributing normal domestic service shall be located underground.

F. Boat, Camper and Trailer Storage

Storage of boats, campers, trailers, motor bicycles, snow-mobles, or other similar recreation vehicles shall not be permitted in the Planned Development District, except within an enclosed terrace or shed, or at such designated, visually protected locations as specified by the developer at the time of filing any plat for final approval.

G. Definitions

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the meanings set forth in Section 29, Definitions, of the Jefferson County Zoning Resolution.

The term "Flag Lot" shall mean a lot shaped like a bulb and stem of a flag and flagpole, wherein the stem or pole portion of the lot fronts upon a public or private street. The minimum frontage upon a public or private street shall be twenty (20) feet. The front yard shall begin etc. and the setback line shall be measured from the end of the stem or pole farthest from the street.

A "Building Envelope" is defined as that area with a lot in which all dwellings, garages and accessory outbuildings must be erected.

"Home Occupations" shall be all such as are approved by the Architectural Committee, and the definition thereof in Section 29 of the Jefferson County Zoning Resolutions shall not apply.

H. Actual Location Determines Applicable Zoning

In any case where a building or other structure is built or a use is made which would be permitted in a more restrictive zone, the regulations which shall apply to such building, structure or use shall nevertheless be those which are applicable to the zone district in which in fact such building or structure is built or such use is made.

V. SUBDIVISION STANDARDS

A. Street Classifications

1. The streets shown on the Official Development Plan are designated as follows:

Right-Of-Way	Minimum Traveled Width
100 feet	6 Lane - Divided
100 feet	4 Lane - Divided
80 feet	4 Lane - Undivided
50 feet	2 Lane - Undivided

2. After construction, certain roads may be dedicated to Jefferson County for operation and maintenance. 6 Lane Divided, 4 Lane Divided and 4 Lane Undivided roads located within the proposed PD District will be improved by the developer to Jefferson County Collector Road standards. 2 Lane undivided roads will be improved by the developer to their full improvement standards.

B. Jefferson County Subdivision Ordinance

On all rights-of-way dedicated to Jefferson County, the road specifications, cut-de-sac design standards, drainage, rail, etc. shall conform to Jefferson County subdivision ordinance standards.

C. Street Lighting

Street lighting shall be included in all areas except the SR-2 K/C, SR-1 K/C and R-1 K/C zones.

D. I-470 Right-of-Way

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

VI. PLAN AMENDMENT

Prior to submission to the Board of Adjustment of any meter governed or want to be governed within the Ken-Caryl Ranch Planned Development District, such matters shall first be reviewed and approved by the Architectural Committee.

VII. GENERAL RESTRICTION

All restrictions and conditions of this plan shall conform to the Jefferson County Zoning Resolution, Subdivision Regulations, engineering specifications and all other applicable county requirements in force and effective as of October 24, 1972 except as expressly stated herein.

The Ken-Caryl Ranch Planned Development District shall be subject to the filing from time to time of approved incremental subdivision plats and to the recording of an approved Official Development Plan.

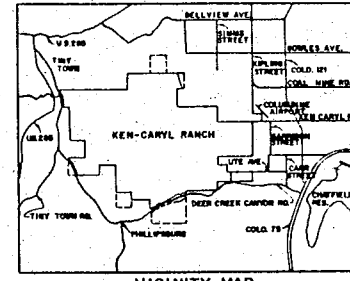
THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24, 1972 SHEET 4 OF 10

GENERAL NOTES

1. THIS PLAN IS A PART OF THE OFFICIAL DEVELOPMENT PLAN FOR THE KEN-CARYL RANCH, JOHN MANVILLE SALES CORP., JEFFERSON COUNTY, COLORADO.
2. THE PLAN IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 13th DAY OF MARCH, 1973.
3. THE PLAN IS APPROVED BY THE JEFFERSON COUNTY PLANNING COMMISSION THIS 26th DAY OF MARCH, 1973.
4. THE PLAN IS ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 13th DAY OF MARCH, 1973.
5. RECEPTION NO. 554186
6. THE PLAN IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 13th DAY OF MARCH, 1973.
7. THE PLAN IS APPROVED BY THE JEFFERSON COUNTY PLANNING COMMISSION THIS 26th DAY OF MARCH, 1973.
8. THE PLAN IS ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 13th DAY OF MARCH, 1973.
9. RECEPTION NO. 554186
10. THE PLAN IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 13th DAY OF MARCH, 1973.
11. THE PLAN IS APPROVED BY THE JEFFERSON COUNTY PLANNING COMMISSION THIS 26th DAY OF MARCH, 1973.
12. THE PLAN IS ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 13th DAY OF MARCH, 1973.
13. RECEPTION NO. 554186



APPROVALS

THE OFFICIAL DEVELOPMENT PLAN (SHEETS 1-10) OF THE KEN-CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 13th DAY OF MARCH, 1973.

BOARD OF COUNTY COMMISSIONERS

Jack S. ...
CHAIRMAN

Norman B. Allen
CLERK

APPROVED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 26th DAY OF MARCH, 1973.

...
CHAIRMAN

David C. ...
SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 13th DAY OF MARCH, 1973.

RECEPTION NO. 554186

Norman B. Allen
CLERK AND RECORDER

...
BY



PLANNED DEVELOPMENT LEGEND

LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS
SR-2	K/C HIGHLANDS RESIDENTIAL	850	52
SR-1	K/C RANCH RESIDENTIAL	454	122
R-1	K/C ESTATE RESIDENTIAL	442	758
R-10	K/C DETACHED RESIDENTIAL	108	411
R-2	K/C PATIO RESIDENTIAL	374	2442
R-3	K/C CONDOMINIUM RESIDENTIAL	98	1484
R-4	K/C APARTMENT RESIDENTIAL	35	1400
R-C	K/C NEIGHBORHOOD COMMERCIAL	41	---
C-1	K/C REGIONAL COMMERCIAL	98	---
I-1	K/C BUSINESS PARK	257	---
I-3	K/C PLANNED INDUSTRIAL	277	---
C-D	K/C RECREATION/OPEN SPACE	5691	---
	SCHOOLS AND PARKS	140	---
	ROADS	286	---
	TOTALS	9159	---

6250 UNITS SHOWN ON PLAN
5000 UNITS MAX. TO BE DEVELOPED
060 UNITS/ACRE AVE. DENSITY

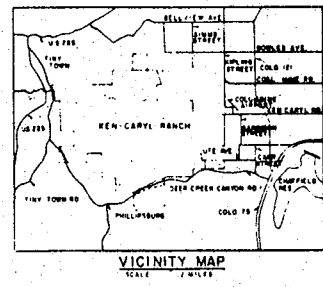
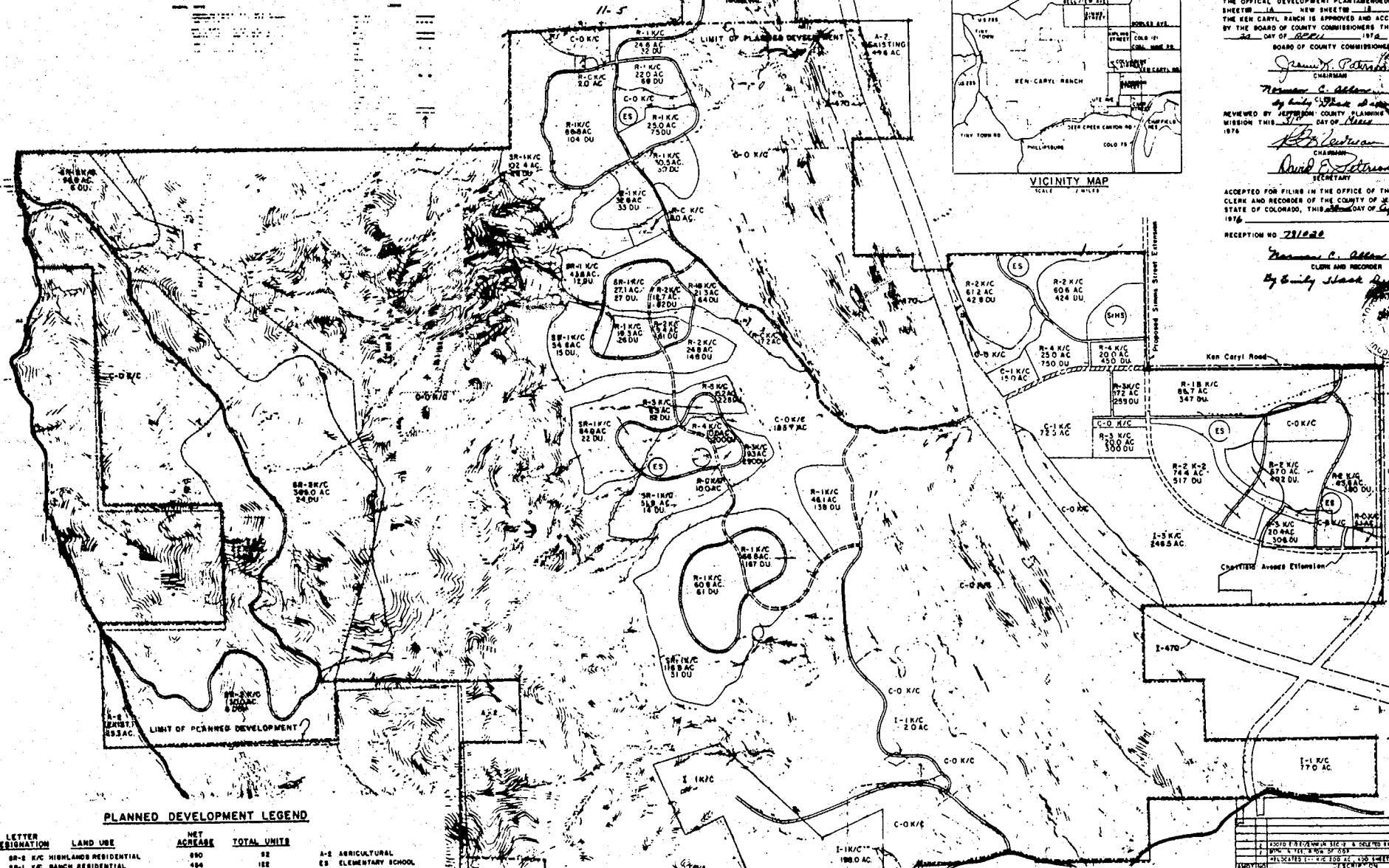
THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 SHEET 1 OF 10



761020



APPROVAL
 THE OFFICIAL DEVELOPMENT PLAN HEREON SHEETS 18 NEW SHEETS 19 OF THE KEN-CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 22 DAY OF APRIL 1976.
 BOARD OF COUNTY COMMISSIONERS
James C. Allaway CHAIRMAN
Richard C. Allaway CLERK AND RECORDER
 REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 17 DAY OF APRIL 1976.
David E. Peterson SECRETARY
 ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 22 DAY OF APRIL 1976.
 RECEPTION NO. 211622
James C. Allaway CLERK AND RECORDER
 By *Emily Slack* Deputy

PLANNED DEVELOPMENT LEGEND

LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS	
SR-2 K/C	HIGHLANDS RESIDENTIAL	690	82	A-2 AGRICULTURAL
SR-1 K/C	RANCH RESIDENTIAL	454	182	ES ELEMENTARY SCHOOL
R-1 K/C	ESTATE RESIDENTIAL	442	799	JHS JUNIOR HIGH SCHOOL
R-1B K/C	DETACHED RESIDENTIAL	108	811	JHS SENIOR HIGH SCHOOL
R-2 K/C	PATIO RESIDENTIAL	374	2442	---
R-3 K/C	CONDOMINIUM RESIDENTIAL	98	1484	---
R-4 K/C	APARTMENT RESIDENTIAL	98	1400	---
R-5 K/C	NEIGHBORHOOD COMMERCIAL	41	---	---
C-1 K/C	REGIONAL COMMERCIAL	98	---	---
I-1 K/C	BUSINESS PARK	837	---	---
I-2 K/C	PLANNED INDUSTRIAL	877	---	---
C-0 K/C	RECREATION/OPEN SPACE	8481	---	---
	SCHOOLS AND PARKS	242	---	---
	ROADS	242	---	---
	TOTALS	9138	---	---

9280 UNITS SHOWN ON PLAN
 8600 UNITS MAX TO BE DEVELOPED
 090 UNITS/ACRE AVE DENSITY

THE KEN-CARYL RANCH
 JOHNS-MANVILLE SALES CORP.
 JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE ORG APP OCTOBER 24, 1975
 DATE AMT 1 APP MAY 13, 1976
 DATE AMT 2 APP MARCH 22, 1976

SHEET 1A OF 10

LEGAL DESCRIPTION OF AN AMENDMENT TO THE KEN CARYL RANCH PLANNED DEVELOPMENT DISTRICT
Beginning at the Southeast corner of Section 6, Township 6 South, Range 49 West of the 6th Principal Meridian;

Thence S. 62°27'45" W. 788.87 Ft.

S. 62°54'30" W. 487.02 Ft.

S. 77°48'02" W. 1188.87 Ft.

N. 60°00'32" W. 1688.00 Ft.

N. 22°30'38" W. 1448.00 Ft.

S. 64°00'32" W. 868.00 Ft.

N. 22°22'27" W. 1738.41 Ft.

N. 72°18'28" E. 1858.00 Ft.

S. 42°58'27" E. 3082.41 Ft.

N. 66°49'13" E. 838.29 Ft.

N. 00°00'00" E. 1068.00 Ft.

N. 80°00'00" E. 808.00 Ft.

N. 10°58'30" W. 2777.73 Ft.

N. 70°30'00" E. 1758.00 Ft.

S. 30°58'00" E. 2788.00 Ft.

S. 12°48'00" E. 1798.00 Ft.

N. 78°29'03" W. 498.00 Ft.

S. 84°08'58" W. 191.20 Ft.

S. 89°50'58" W. 238.20 Ft.

S. 72°36'58" W. 184.50 Ft.

S. 88°17'58" W. 354.10 Ft.

S. 72°47'58" W. 208.16 Ft.

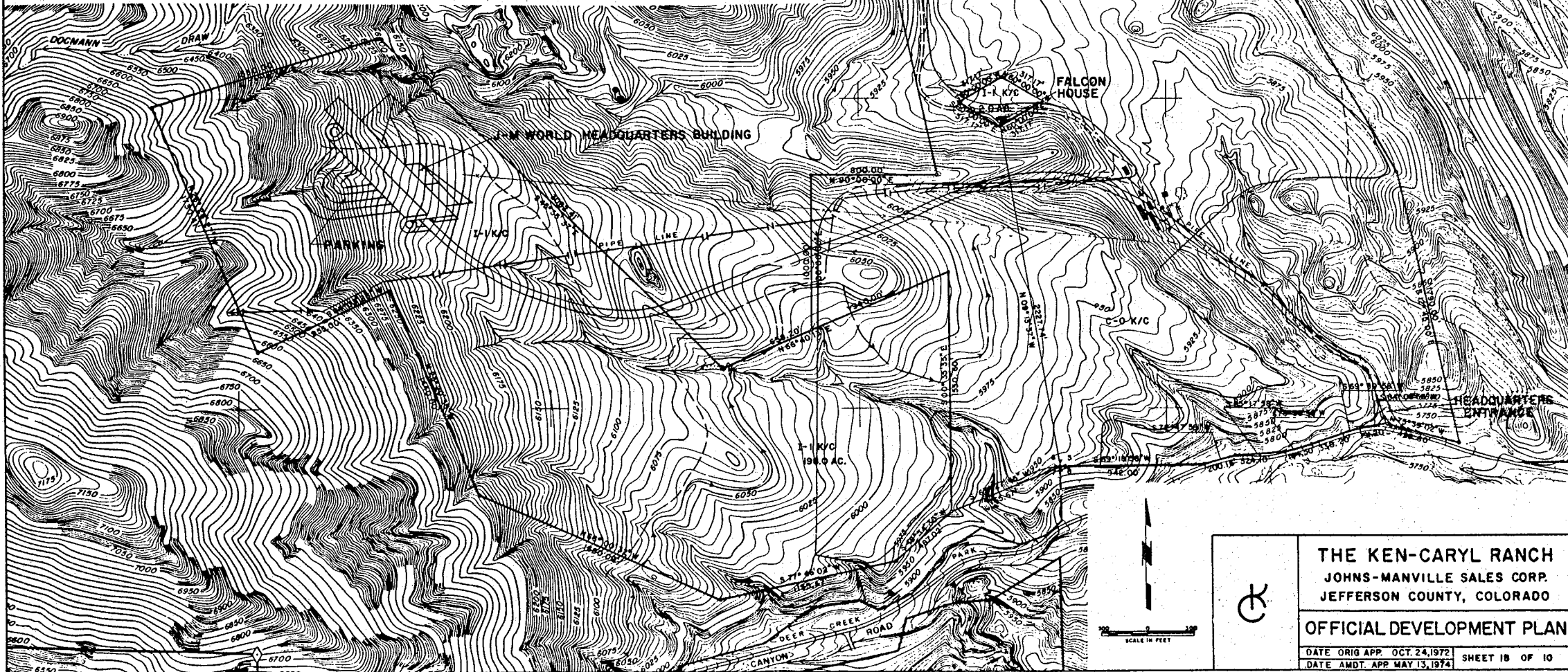
S. 82°18'58" W. 848.00 Ft.

more or less to the point of beginning.

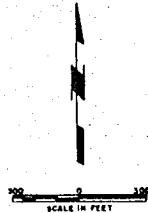
Containing 818 acres more or less.

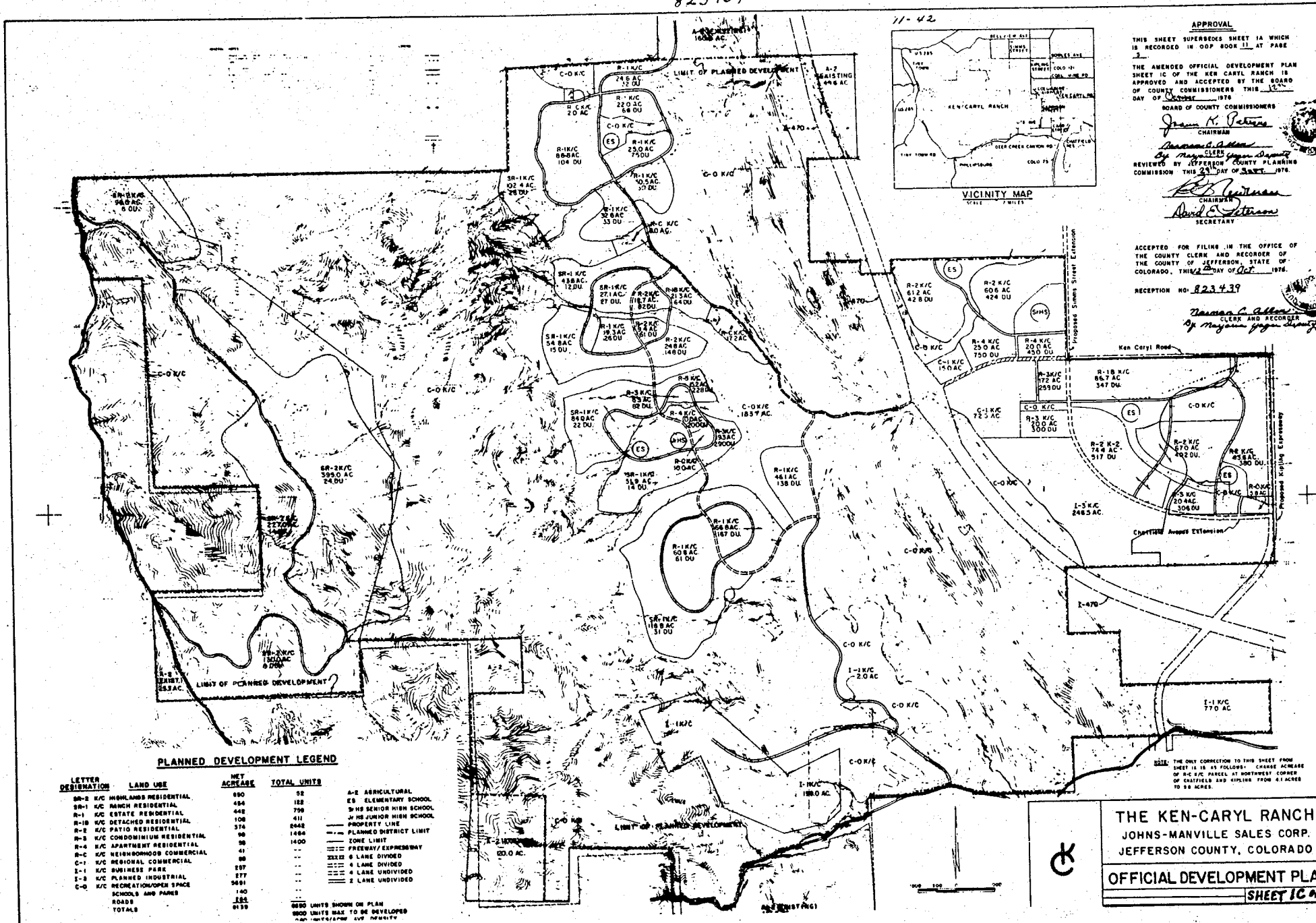
All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 15, 1973, in ODP Book 3, pages 1 through 10, of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended by Sheets 1A and 1B. With respect to the lands described in this Sheet 1B which are the subject of this amendment (hereafter the "lands"), the Official Development Plan of The Ken-Caryl Ranch is amended as follows:

- A. Sheet 1
 1. By this amendment, a partial relocation of land uses is effected. The total "I-1 K/C" acreage within the lands remains 200.8 acres.
- B. Sheet 4
 1. "III. D. 1. h. Membership" is amended to read as follows: "Membership in the Master Association will be at the option of the landowner, provided, however, that in the event the landowner once elects membership, such election shall run with the ownership of the land. All members will be entitled to vote for the directors."
 2. "VI. PLAN AMENDMENT" is deleted.
 3. "VII. GENERAL RESTRICTION" The lands are not subject to platting.
- C. Sheet 10
 1. "K. Business Park (I-1 K/C) Parking Requirements" is amended to read as follows: "The parking requirements shall be 1 space per 3 employees."
 2. "K. Business Park (I-1 K/C) 3. BUILDING" is amended to read as follows: "Min. S. F. No Minimum Max. S. F. 2,500,000"
 3. "K. Business Park (I-1 K/C) 4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS. B. Building Concept" is amended to read as follows: "A mixture of natural and processed materials, including block, brick, plaster, glass, metal, etc."
 4. "K. Business Park (I-1 K/C) 4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS. C. Circulation." is amended to read as follows: "Public and/or private street"
 5. "K. Business Park (I-1 K/C) DEVELOPMENT STANDARDS 3) Parking Regulations" is amended to read as follows: "The parking regulation shall be 1 space per 3 employees."



	THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO
	OFFICIAL DEVELOPMENT PLAN
	DATE ORIG APP. OCT. 24, 1972 DATE AMDT. APP. MAY 13, 1974





APPROVAL
 THIS SHEET SUPERSEDES SHEET 1A WHICH IS RECORDED IN ODP BOOK 11 AT PAGE 3.
 THE AMENDED OFFICIAL DEVELOPMENT PLAN SHEET 1C OF THE KEN-CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS DAY OF NOVEMBER, 1978.
 BOARD OF COUNTY COMMISSIONERS
James K. Peters
 CHAIRMAN
James C. Allen
 CLERK AND RECORDER
 REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS DAY OF NOVEMBER, 1978.
Bob Curran
 CHAIRMAN
David E. Johnson
 SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS DAY OF NOVEMBER, 1978.
 RECEPTION NO. 823439
James C. Allen
 CLERK AND RECORDER
By Mayanna Jagan Dapunt

PLANNED DEVELOPMENT LEGEND

LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS	
SR-2 K/C	HIGHLAND RESIDENTIAL	490	92	A-2 AGRICULTURAL
SR-1 K/C	RANCH RESIDENTIAL	454	122	ES ELEMENTARY SCHOOL
R-1 K/C	ESTATE RESIDENTIAL	442	799	SH-SR SENIOR HIGH SCHOOL
R-1B K/C	DETACHED RESIDENTIAL	108	411	JH JR HIGH SCHOOL
R-2 K/C	PATIO RESIDENTIAL	374	648	PLANNED DISTRICT LIMIT
R-3 K/C	CONDOMINIUM RESIDENTIAL	90	1484	PROPERTY LINE
R-4 K/C	APARTMENT RESIDENTIAL	30	1400	PLANNED DISTRICT LIMIT
R-5 K/C	NEIGHBORHOOD COMMERCIAL	41	---	ZONE LIMIT
C-1 K/C	REGIONAL COMMERCIAL	89	---	FREEWAY/EXPRESSWAY
I-1 K/C	BUSINESS PARK	297	---	3x3x3 6 LANE DIVIDED
I-2 K/C	PLANNED INDUSTRIAL	349	---	4 LANE UNDIVIDED
C-2 K/C	RECREATION/OPEN SPACE	140	---	2 LANE UNDIVIDED
	SCHOOLS AND PARKS	123	---	
	ROADS	439	---	
	TOTALS	3439	---	

2800 UNITS SHOWN ON PLAN
 1000 UNITS MAX TO BE DEVELOPED
 1000 UNITS PER 100 AC. MAXIMUM

THE KEN-CARYL RANCH
 JOHNS-MANVILLE SALES CORP.
 JEFFERSON COUNTY, COLORADO
OFFICIAL DEVELOPMENT PLAN
 SHEET 1C OF 10

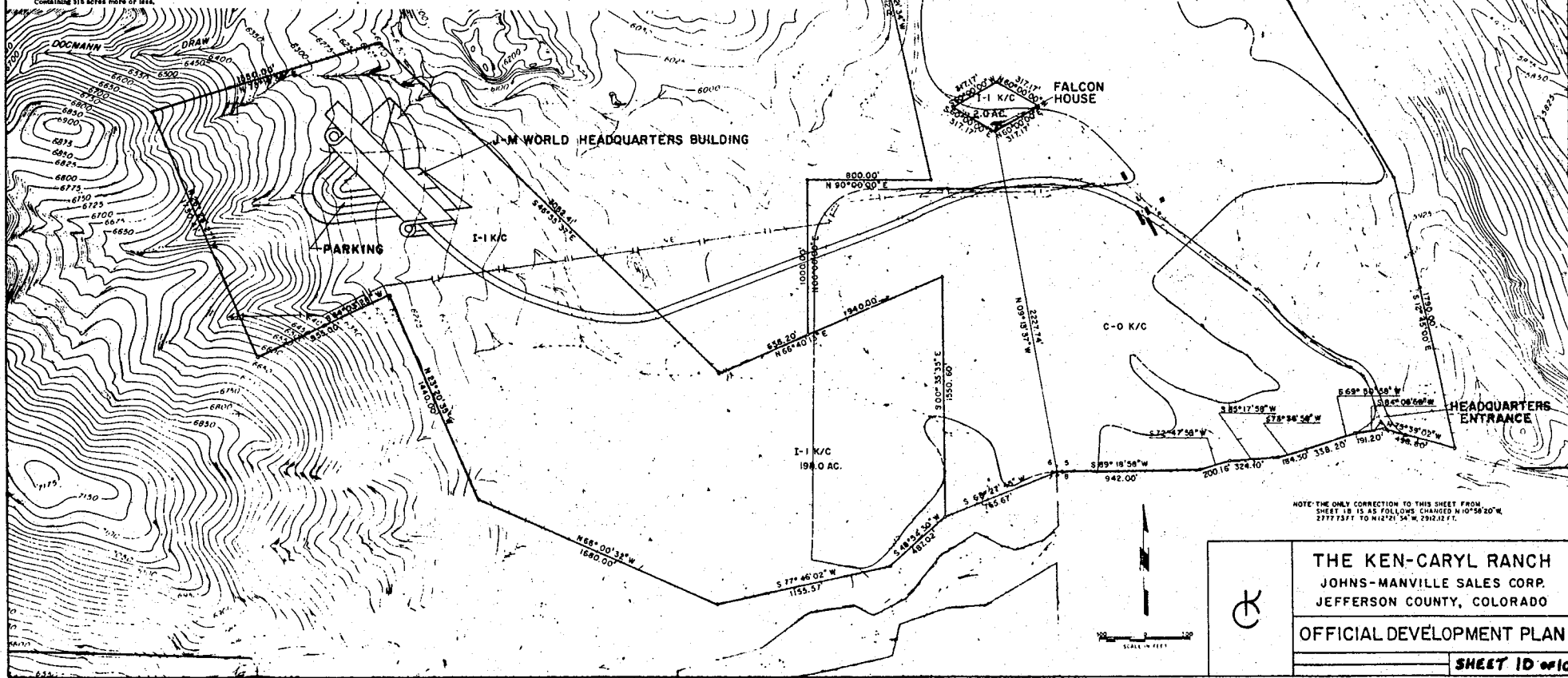
LEGAL DESCRIPTION OF AN AMENDMENT TO THE KEN CARYL RANCH PLANNED DEVELOPMENT DISTRICT Beginning at the Southeast corner of Section 6, Township 6 South, Range 49 West of the 6th Principal Meridian;

- Thence S. 68°27'45" W. 785.87 Ft.
S. 48°54'30" W. 487.02 Ft.
S. 77°16'02" W. 1155.57 Ft.
N. 46°00'32" W. 1849.00 Ft.
N. 23°20'35" W. 1448.00 Ft.
S. 84°03'28" W. 955.00 Ft.
N. 23°28'27" W. 1730.41 Ft.
N. 73°16'38" E. 1550.00 Ft.
S. 48°53'37" E. 3062.41 Ft.
N. 68°40'13" E. 634.20 Ft.
N. 00°00'00" E. 1000.00 Ft.
N. 80°09'00" E. 800.00 Ft.
W. 18°21'54" W. 2912.12 Ft.
N. 16°30'00" E. 1750.00 Ft.
S. 30°55'00" E. 2750.00 Ft.
S. 12°45'00" E. 1790.00 Ft.
N. 79°38'02" W. 484.80 Ft.
S. 54°05'48" W. 181.20 Ft.
S. 69°50'48" W. 338.20 Ft.
S. 72°58'58" W. 184.50 Ft.
S. 88°17'58" W. 324.10 Ft.
S. 72°47'58" W. 200.16 Ft.
S. 69°18'58" W. 942.00 Ft.

All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 12, 1973, in ODP Book 3, pages 1 through 10, of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended by Sheets 1A and 1B. With respect to the lands described in this Sheet 1B which are the subject of this amendment hereinafter the "lands", the Official Development Plan of The Ken-Caryl Ranch is amended as follows:

- A. Sheet 1
1. By this amendment, a partial relocation of land uses is effected. The total "I-1 K/C" acreage within the lands remains 200.0 acres.
B. Sheet 4
1. "III. D. 1. b. Membership" is amended to read as follows: "Membership in the Master Association will be at the option of the land owner, provided, however, that in the event the landowner once elects membership, such election shall run with the ownership of the land. All members will be entitled to vote for the directors."
2. "VI. PLAN AMENDMENT" is deleted.
3. "VII. GENERAL RESTRICTION: The lands are not subject to plating."
C. Sheet 10
1. "K. Business Park (I-1 K/C) Parking Requirements" is amended to read as follows: "The parking requirements shall be 1 space per 3 employees."
2. "K. Business Park (I-1 K/C) 2. BUILDING" is amended to read as follows: "Min. S.F. No Minimum Max. S.F. 2,500,000"
3. "K. Business Park (I-1 K/C) 4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS: B. Building Concept" is amended to read as follows: "A mixture of natural and processed materials, including block, brick, plaster, glass, metal, etc."
4. "K. Business Park (I-1 K/C) 1. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS: C. Circulation," is amended to read as follows: "Public and/or private street"
5. "K. Business Park (I-1 K/C) DEVELOPMENT STANDARDS 3) Parking Regulations" is amended to read as follows: "The parking regulation shall be 1 space per 3 employees."

more or less to the point of beginning. Containing 518 acres more or less.



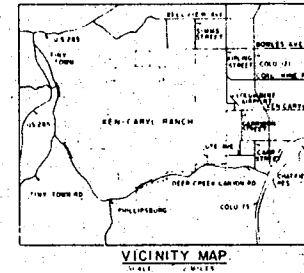
APPROVAL
THIS SHEET SUPERSEDES SHEET # WHICH IS RECORDED IN ODP BOOK # AT PAGE #
THE AMENDED OFFICIAL DEVELOPMENT PLAN SHEET ID OF THE KEN CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS DAY OF October 1974
BOARD OF COUNTY COMMISSIONERS
James K. Patterson CHAIRMAN
Dorcas L. Adkins CLERK AND RECORDER
REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS DAY OF February 1976
David B. Peterson SECRETARY
ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS DAY OF October 1976
RECEPTION NO. 823437

NOTE: THE ONLY CORRECTION TO THIS SHEET FROM SHEET 1B IS AS FOLLOWS: CHANGED N 10° 58' 20" W, 2777.73 FT TO N 12° 21' 54" W, 2912.12 FT.

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO
OFFICIAL DEVELOPMENT PLAN
SHEET ID #10

WITHIN THE USE AREA WILL BE RESERVED 10 ACRES FOR ELEMENTARY SCHOOL SITE AND 20 ACRES OF OPEN SPACE (C-O K/C). THESE ARE PERMITTED USES WITHIN THIS AREA.

20 acres of usable park or open space shall be provided. Compliance to various requirements shall not include flood plains deemed unsuitable for present and future use by the County and greenbelt/buffers of less than 100 feet in width. The park or open space shall have pedestrian access to the open space areas in the southeast, northwest and northeast or west of the K/C R-1B area to the north. As much as practical the majority of the park area should be contiguous to the required 10 acre school site. Minimum single park site shall be 1/2 acre.



APPROVAL

THIS SHEET SUPERSEDES SHEET IC WHICH IS RECORDED IN ODP BOOK 11 AT PAGE 52.

THE AMENDED OFFICIAL DEVELOPMENT PLAN SHEET IC OF THE KEN-CARYL RANCH IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 16TH DAY OF SEPTEMBER, 1977.

BOARD OF COUNTY COMMISSIONERS

Edna J. Johnson
CHAIRMAN

Thomas C. Allen
by *Alger Anton* Deputy
REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 14TH DAY OF SEPTEMBER, 1977.

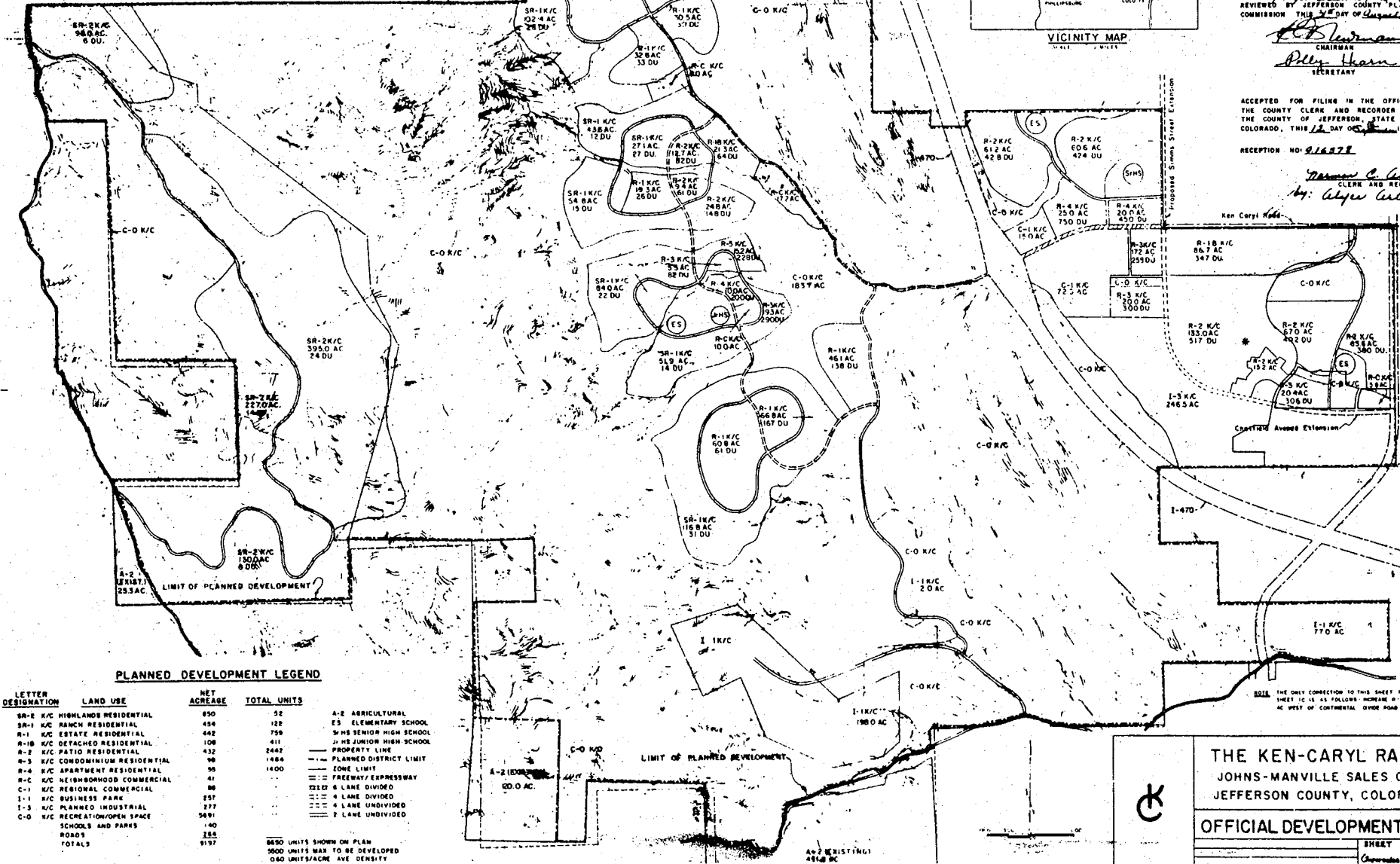
Alger Anton
CHAIRMAN

Pete Hearn
SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 14TH DAY OF SEPTEMBER, 1977.

RECEPTION NO. 916571

Thomas C. Allen
CLERK AND RECORDER
By: *Alger Anton* Deputy



PLANNED DEVELOPMENT LEGEND

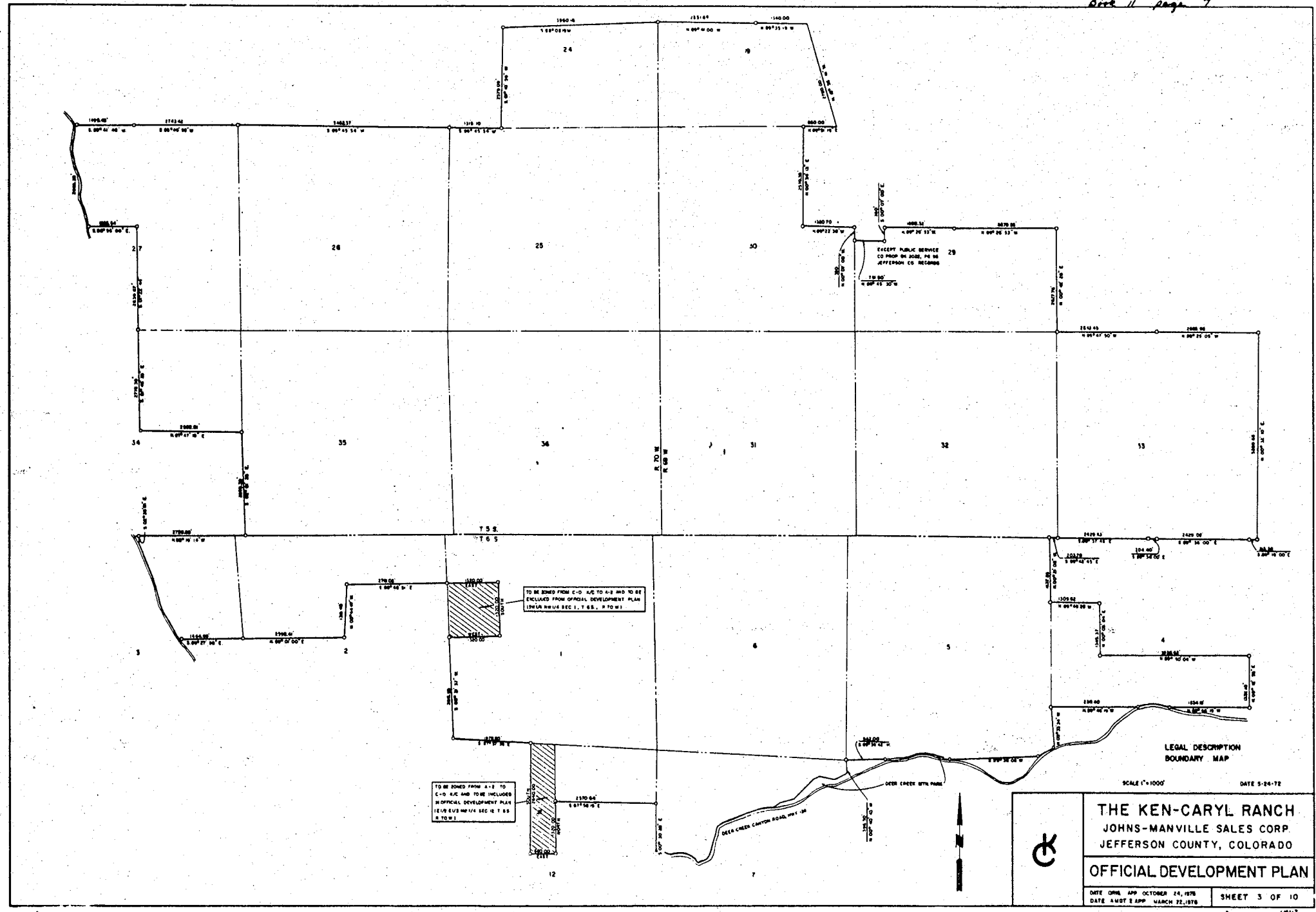
LETTER DESIGNATION	LAND USE	NET ACREAGE	TOTAL UNITS
SR-1 K/C	HIGHLANDS RESIDENTIAL	850	22
SR-1 K/C	RANCH RESIDENTIAL	458	122
R-1 K/C	ESTATE RESIDENTIAL	442	758
R-1B K/C	DETACHED RESIDENTIAL	108	411
R-2 K/C	PATIO RESIDENTIAL	432	2442
R-3 K/C	CONDOMINIUM RESIDENTIAL	90	1488
R-4 K/C	APARTMENT RESIDENTIAL	55	1400
R-C K/C	NEIGHBORHOOD COMMERCIAL	41	...
C-1 K/C	REGIONAL COMMERCIAL
I-1 K/C	BUSINESS PARK	257	...
I-3 K/C	PLANNED INDUSTRIAL	277	...
C-O K/C	RECREATION/OPEN SPACE	5891	...
	SCHOOLS AND PARKS	140	...
	ROADS	228	...
	TOTALS	9137	...

8650 UNITS SHOWN ON PLAN
5000 UNITS MAX TO BE DEVELOPED
600 UNITS/ACRE AVE DENSITY

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

SHEET 18 OF 10
(Continued IC of 10)



TO BE ZONED FROM C-0 R/G TO R-1 AND TO BE EXCLUDED FROM OFFICIAL DEVELOPMENT PLAN (UNLESS REVIS SEC 1, T 6 S, R 10 W)

TO BE ZONED FROM R-1 TO C-0 R/G AND TO BE INCLUDED IN OFFICIAL DEVELOPMENT PLAN (UNLESS REVIS SEC 1, T 6 S, R 10 W)

LEGAL DESCRIPTION BOUNDARY MAP

SCALE 1"=1000' DATE 5-24-72

CK

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE ORG APP OCTOBER 24, 1976 SHEET 3 OF 10
 DATE AMDT 2 APP MARCH 22, 1978

VIII. ZONING RESOLUTION - LAND USE CLASSIFICATIONS AND RESTRICTIONS

A. Highlands Residential (SR-2 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- One-family dwelling, detached, and accessory outbuildings, including guest-houses and stables.
- Church or parish house.
- Public, parochial and private schools (but not including private vocational, trade or professional schools or schools for subnormal or mentally disturbed adults or children), preschools and day nurseries for infants and children.
- Public and private libraries; public and private museums; community facilities.
- Public parks, playgrounds, and other public or private recreational uses.
- Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
- Telephone exchanges; electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained.
- Water supply reservoirs, wells, water towers, filter beds, and irrigation canals.
- Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
 - Home occupations;
 - Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property;
 - Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

- No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

- Area and Minimum Width of Lot:** For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than two (2) acres. The minimum width of such lot area shall be one hundred twenty-five (125) feet measured along a public street or at the setback line from such public street, whichever is greater; provided however, in the case of flag lots a minimum width of twenty (20) feet on the stem or pole will be allowed.
- Building Envelope:** In addition to setback requirements, each lot within the Highlands Residential zone will contain a designated building envelope within which the dwelling and accessory buildings must be placed, unless the prior written approval of the Architectural Committee for the erection of all or a part of such dwellings and outbuildings outside of the building envelope has been obtained.
 - Front Yard - Minimum depth of front yard to building envelope shall be thirty (30) feet.
 - Side Yard - Minimum width of side yard to building envelope shall be twenty (20) feet.
 - Rear Yard - Minimum depth of rear yard to building envelope shall be fifty (50) feet.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

Livestock

One horse may be kept on each lot of a minimum size of two acres, and one additional horse may be kept for each additional one acre, up to a maximum of four horses.

KEN-CARYL RANCH
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Highlands Residential (SR-2 K/C)
S.F.: 87,120 (2 acres) minimum

2. BUILDING: Min. S.F. 1000 Max. S.F. 15,000

3. PARKING: Min. S.F. 400 Max. S.F. 1,500

Open: Min. S.F. 0 % of Total 0
Enclosed: Min. S.F. 400 % of Total 100
Underground: Min. S.F. 0 % of Total 0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

A. Site Plan Concepts: Detached dwellings

Bldg. Type Related to Land Use: Single family residential

Structural Design: Wood or metal frame, block or brick

B. Site Drainage Concept: Surface drainage

Landscape Concept: Natural
Mixture of natural materials, block, brick and plaster, earth tones

Building Concept: Residential subdivision

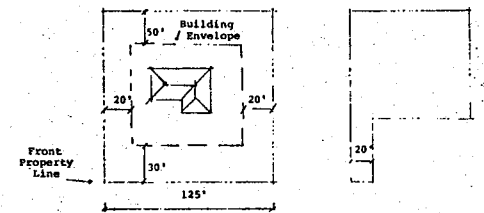
C. Site Planning Concept: Residential subdivision

Street Width & Parking: Local Road (50' R.O.W.)

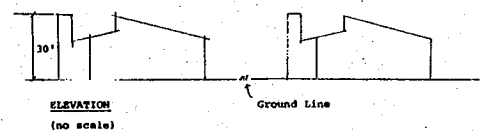
Circulation: Public and/or Private streets

DEVELOPMENT STANDARDS
Highlands Residential (SR-2 K/C)

- Height Limit: 30' Maximum
- Area Regulations:
 - Lot Size: 2 acres (minimum)
 - Front Yard: 30'
 - Side Yard: 20'
 - Rear Yard: 50'
- Parking Regulations: 2 cars (enclosed) minimum



SITE PLAN (no scale)
FLAG LOT DESCRIPTION (no scale)



ELEVATION (no scale)
Ground Line

KEN-CARYL RANCH
PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Ranch Residential (SR-1 K/C)
S.F.: 43,560 (1 acre) minimum

2. BUILDING: Min. S.F. 1000 Max. S.F. 12,000

3. PARKING: Min. S.F. 400 Max. S.F. 1,500

Open: Min. S.F. 0 % of Total 0
Enclosed: Min. S.F. 400 % of Total 100
Underground: Min. S.F. 0 % of Total 0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

A. Site Plan Concepts: Detached dwellings

Bldg. Type Related to Land Use: Single family residential

Structural Design: Wood or metal frame, block or brick

B. Site Drainage Concept: Surface drainage

Landscape Concept: Natural
Mixture of natural materials, block, brick and plaster, earth tones

Building Concept: Residential subdivision

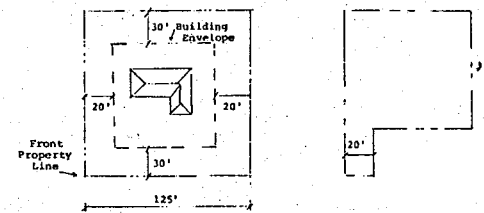
C. Site Planning Concept: Residential subdivision

Street Width & Parking: Local Road (50' R.O.W.)

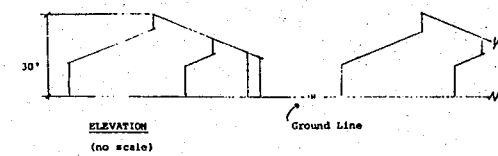
Circulation: Public streets

DEVELOPMENT STANDARDS
Ranch Residential (SR-1 K/C)

- Height Limit: 10' Maximum
- Area Regulations:
 - Lot Size: 1 acre (minimum)
 - Front Yard: 30'
 - Side Yard: 20'
 - Rear Yard: 30'
- Parking Regulations: 2 cars (enclosed) minimum



SITE PLAN (no scale)
FLAG LOT DESCRIPTION (no scale)



ELEVATION (no scale)
Ground Line

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

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C. Estate Residential (R-1 E/C)

KEN-CARYL RANCH
PLANNED DEVELOPMENT DISTRICT

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- One-family dwelling, detached.
- Church or parish house.
- Public, parochial and private schools (but not including private vocational, trade or professional schools or schools for subnormal or mentally disturbed adults or children), preschools and day nurseries for infants and children.
- Public and private libraries; public and private museums; community facilities.
- Public parks, playgrounds, and other public or private recreational uses.
- Governmental buildings; fire stations, but not including warehouses or storage or repair facilities.
- Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities are maintained.
- Water supply reservoirs, wells, water towers, and filter beds.
- Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
 - Home occupations;
 - Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property;
 - Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

- No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

- Area and Minimum Width of Lot:** For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than twelve thousand five hundred (12,500) square feet. The minimum width of such lot area shall be one hundred (100) feet measured along a public street or at the setback line from such public street, whichever is greater.
- Front Yard:** The minimum depth of front yard for dwellings and other main buildings shall be twenty (20) feet when the front yard is adjacent to a local or collector street. The minimum depth of front yard for dwellings and other main buildings shall be thirty (30) feet when the front yard is adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan. The minimum depth of front yard for lots that front exclusively on the bulb of a cul-de-sac shall be ten (10) feet. In all cases where the front yard setback is proposed to be less than 16.6 feet, "direct access" driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the minimum 16.6 feet for parking without an automobile extending into the road right-of-way will be allowed.
- Side Yard:** The minimum width of side yard for any building shall be ten (10) feet on each side. The minimum width of side yard adjacent to a local or collector street shall be twenty (20) feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet.
- Rear Yard:** The minimum depth of rear yard shall be twenty (20) feet.

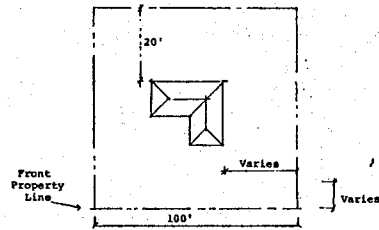
Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

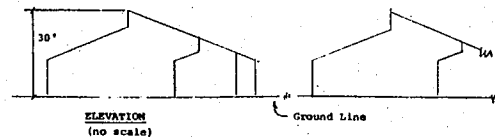
LAND USE TYPE: Estate Residential (R-1 E/C)					
S.F.: 12,500 minimum					
1. BUILDING:	Min. S.F.	1,000	Max. S.F.	11,000	
2. PARKING:	Min. S.F.	400	Max. S.F.	1,500	
	Open	Min. S.F.	0	% of Total	0
	Enclosed	Min. S.F.	400	% of Total	100
	Underground	Min. S.F.	0	% of Total	0
ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:					
A. Site Plan Concept:	Detached dwellings				
Bldg. Type Related to Land Use:	Single family residential				
Structural Design:	Wood or metal frame, block or brick				
B. Site Drainage Concept:	Surface drainage				
Landscape Concept:	Mixture of natural materials and grass, trees and shrubs				
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones				
C. Site Planning Concept:	Residential subdivision				
Street Width & Parking:	Local road (50' R.O.W.)				
Circulation:	Public streets				

DEVELOPMENT STANDARDS Estate Residential (R-1 E/C)

1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	12,500 s.f. (minimum)
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	20'
3) Parking Regulations	2 cars (enclosed) minimum



SITE PLAN (no scale)



ELEVATION (no scale)

D. Detached Residential (R-1B E/C)

KEN-CARYL RANCH
PLANNED DEVELOPMENT DISTRICT

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Any use permitted in the Estate Residential (R-1 E/C) District.

Height Regulations

- No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

- Area and Minimum Width of Lot:** For every dwelling or other main building erected or structurally altered, there shall be provided a minimum lot area of not less than seven thousand two hundred (7,200) square feet. The minimum width for such lot shall be sixty (60) feet measured along a public street or at the setback line from such public street, whichever is greater.
- Front Yard:** The distance from the front property line to the dwelling shall not be less than twenty (20) feet. The distance from the front property line to the garage shall not be less than ten (10) feet. In all cases where the front yard setback is proposed to be less than 16.6 feet, "direct access" driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the minimum 16.6 feet for parking without an automobile extending into the road right-of-way will be allowed.
- Side Yard:** The minimum width of side yard adjacent to a local or collector street shall be fifteen (15) feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet. There shall be at least ten (10) feet between adjacent structures, and a minimum of three (3) feet to the property line, except:
 - A garage attached to the dwelling unit may come within six (6) feet of a garage on an adjacent lot.
 - A garage detached a minimum of eight (8) feet from the dwelling unit may abut a detached garage on an adjacent lot. An open trellis or beam will be allowed to tie a garage to a dwelling unit.
- Rear Yard:** The minimum depth of rear yard shall be fifteen (15) feet from the rear of the main building and no secondary structure shall be built closer than five (5) feet from the rear lot line.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

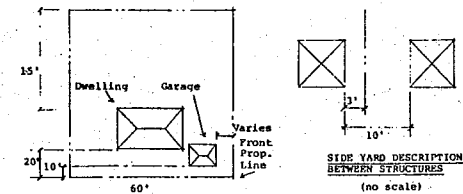
LAND USE TYPE: Detached Residential (R-1B E/C)					
S.F.: 7,200 minimum					
1. BUILDING:	Min. S.F.	800	Max. S.F.	6,000	
2. PARKING:	Min. S.F.	400	Max. S.F.	1,500	
	Open	Min. S.F.	0	% of Total	0
	Enclosed	Min. S.F.	400	% of Total	100
	Underground	Min. S.F.	0	% of Total	0

ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

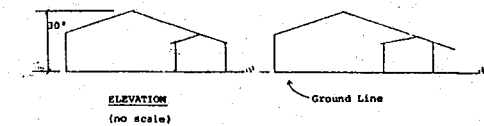
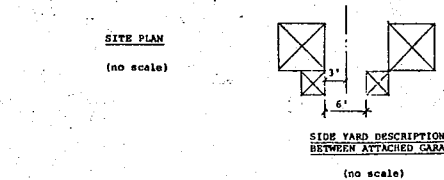
A. Site Plan Concept:	Detached dwellings
Bldg. Type Related to Land Use:	Single family residential
Structural Design:	Wood or metal frame, block or brick
B. Site Drainage Concept:	Surface drainage
Landscape Concept:	Grass, trees and shrubs
Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
C. Site Planning Concept:	Residential subdivision
Street Width & Parking:	Local road (50' R.O.W.)
Circulation:	Public streets

DEVELOPMENT STANDARDS Detached Residential (R-1B E/C)

1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	7,200 s.f. (minimum)
B. Front Yard	20' to the dwelling 10' to the garage
C. Side Yard	Varies
D. Rear Yard	15'
3) Parking Regulations	2 cars (enclosed) minimum



SITE PLAN (no scale)



ELEVATION (no scale)

THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

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E. Patio Residential (R-2 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Any use permitted in the Detached Residential (R-1B K/C) District.
- One-family dwellings, attached to any other one-family dwellings.

Height Regulations

No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spikes and flag-poles.

Area Regulations

1. **Area and Minimum Width of Lot:** The minimum lot area for each dwelling shall not be less than four thousand (4,000) square feet. The minimum width of such lot shall be fifty (50) feet, measured along a street or at the setback line from such street, whichever is greater.

2. **Front Yard:** The distance from the front property line to the dwelling shall not be less than ten (10) feet. The distance from the front property line to the garage shall not be less than ten (10) feet.

In all cases where the front yard setback is proposed to be less than 10.6 feet, "direct access" driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the minimum 10.6 feet for parking without an automobile extending into the road right-of-way will be allowed.

3. **Side Yard:** There shall be provided a minimum of three (3) feet to the property line and a minimum total of ten (10) feet of side yard setback between adjacent dwellings, all of which, however, may be provided on one side where the dwellings on two adjacent lots are built with a common wall. The minimum width of side yard adjacent to a local or collector street shall be twenty (20) feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet.

4. **Rear Yard:** A minimum dimension of fifteen (15) feet will be maintained from the rear lot line for all structures.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Patio Residential (R-2 K/C)

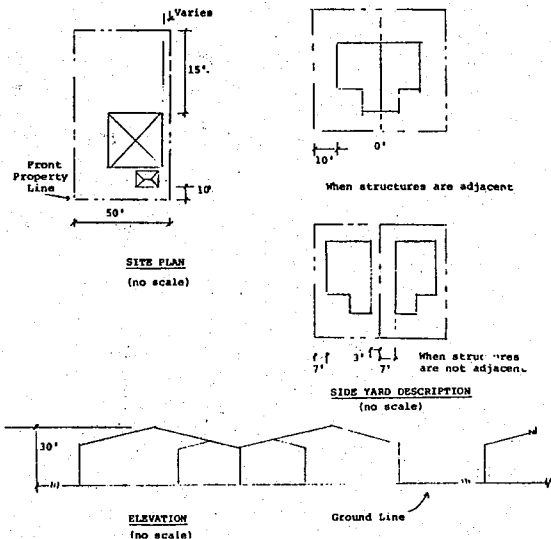
S.F.: 4,000 minimum			
2. BUILDING:	Min. S.F.	800	Max. S.F. 1,900
3. PARKING	Min. S.F.	400	Max. S.F. 600
	Open	Min. S.F. 0	% of Total 0
	Enclosed	Min. S.F. 400	% of Total 100
	Underground	Min. S.F. 0	% of Total 0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

- Site Plan Concept:** Attached & detached dwellings
- Bldg. Type Related to Land Use:** Single family residential
- Structural Design:** Wood or metal frame, block or brick
- Site Drainage Concept:** Surface drainage
- Landscaping Concept:** Grass, trees and shrubs
- Building Concept:** Mixture of natural materials, block, brick and plaster, carch tones
- Site Planning Concept:** Residential subdivision
- Street Width & Parking:** Local road (50' R.O.W.)
- Circulation:** Public streets

DEVELOPMENT STANDARDS

1) Height Limit	30' Maximum
2) Area Regulations	
A. Lot Size	4,000 s.f. (minimum)
B. Front Yard	10'
C. Side Yard	Varies
D. Rear Yard	15'
3) Parking Regulations	2 cars (enclosed) minimum



F. Condominium Residential (R-3 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Any use permitted in the Patio Residential (R-2 K/C) District.
- Multiple-family dwelling.

Height Regulations

No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spikes and flag-poles.

Area Regulations

1. **Area:** The overall density is based on an average density of 15 dwelling units per acre. However, a minimum site area for each dwelling in a multiple-family dwelling shall not be less than four hundred fifty (450) square feet.

2. **Front Yard:** The minimum depth of front yard for dwellings and other main buildings shall be ten (10) feet when the front yard is adjacent to a local or collector street. The minimum depth of front yard for dwellings and other main buildings shall be twenty (20) feet when the front yard is adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan. The minimum depth of front yard for lots that front exclusively on the bulb of a cul-de-sac shall be ten (10) feet.

No part of the front yard established by the required setback may be used for off-street parking. Accessory buildings shall have the same minimum front yard as the dwelling or other main buildings to which they are accessory.

3. **Side Yard:** No minimum side yard shall be required when one of the following conditions prevails:

- Structures which abut upon a plaza, park, mall or other permanent open green space may abut the common property line and have openings onto such appurtenances.
- Where there are no openings on a given side of a structure, that side may be placed on the property line and may abut a structure on an adjoining lot where the latter structure also has no openings on its abutting side.
- An attached or detached garage or carport may abut a side property line or another structure provided no openings are located on the abutting surfaces.

If one of the above conditions does not prevail, a minimum setback of five (5) feet shall be required and the minimum distance between unattached structures shall be ten (10) feet which may be either on the same lot or on two adjacent lots.

4. **Rear Yard:** No minimum dept of rear yard shall be required.

Parking Requirements

On-site parking for residential uses shall be in the form of not less than two (2) parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egress) per dwelling unit.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Condominium Residential (R-3 K/C)

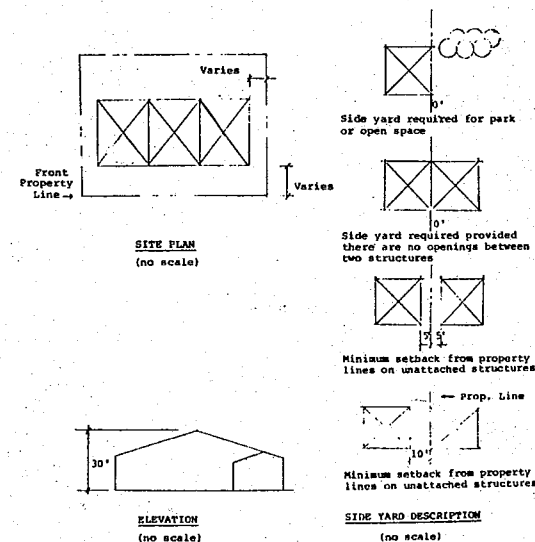
S.F.: Average density of 15 units per acre			
2. BUILDING:	Min. S.F.	450/unit	Max. S.F. 10,000/Bldg.
3. PARKING	Min. S.F.	400/unit	Max. S.F. 2,500/Bldg.
	Open	Min. S.F. 0	% of Total 0
	Covered	Min. S.F. 400	% of Total 100
	Underground	Min. S.F. 0	% of Total 0

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

- Site Plan Concept:** Dwelling unit clusters
- Bldg. Type Related to Land Use:** Single & Multiple family residential
- Structural Design:** Primarily wood, masonry, concrete or steel
- Site Drainage Concept:** Surface drainage
- Landscaping Concept:** Grass, trees and shrubs
- Building Concept:** Mixture of natural materials, block, brick and plaster, earth tones
- Site Planning Concept:** Individual fee and/or undivided ownership
- Street Width & Parking:** Local street (50' R.O.W.), Collector (60' R.O.W.) or Arterial (80' - 100')
- Circulation:** Public streets

DEVELOPMENT STANDARDS

1) Height Limit	30' Maximum
2) Area Regulations	
A. Site Area	450 s.f./dwelling, average of 15 du/acre
B. Front Yard	Varies
C. Side Yard	Varies
D. Rear Yard	0'
3) Parking Regulations	2 parking spaces per unit



THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

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K. Business Park (I-1 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Office and professional buildings.
- Research and development facilities.
- Management/Seminar complexes.
- Public, parochial, and private schools, colleges and universities (including those uses commonly accepted as accessory thereto when located on the same premises).
- Parking of motor vehicles.
- Hospitals.
- Heliports, subject to the provisions of Section IV.D of the Planned Development Application.
- Assembly of light industrial products to include, but not to be limited to, assembly of office machines.
- Accessory uses such as banks, laboratories, restaurants and private clubs (including the sale for consumption on the premises of liquor and three point two (3.2) percent fermented malt beverages), blueprinting establishments and offices.
- Government buildings or uses such as police stations, fire stations, post offices, and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations.
- Golf courses (including miniature golf or putting ranges and driving ranges, private clubs and restaurants, including the sale for consumption on the premises of liquor and three point two (3.2) percent fermented malt beverages in connection therewith) and those uses commonly accepted as accessory thereto, when located on the same premises.
- The uses hereinabove set forth shall be subject to the following limitations and conditions:
 - Every use shall be so separated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
 - Every use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point on any boundary line of the lot on which the use is located.
 - Every use shall be so operated that it does not emit an obnoxious or dangerous degree of heat, glare, radiation or fumes beyond any boundary line of the lot on which the use is located.
 - All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
 - No materials or wastes shall be deposited upon a lot in such form or manner that they may be transferred off the lot by natural causes or forces.

Height Regulations

- None

Area Regulations

- Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements set out below.
- Front Yard: Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that setback on a county arterial shall be a minimum of forty (40) feet. Motor fuel pumps may be erected not less than eighteen (18) feet from such front lot line.
- Side Yard: If a building is constructed of masonry or fireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed of materials other than masonry or fireproof materials, the minimum depth of any side yard of an interior lot or a side yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side setback line, shall be five (5) feet. On corner lots, the minimum depth of the side yard on the side adjacent to a street, measured from the side lot line to the side setback line, shall be thirty (30) feet.
- Rear Yard: No rear yard setback.

Building Site Coverage

Maximum building coverage of thirty (30) percent is allowed. Parking spaces and/or parking structures shall not be calculated as building area and shall be allowed in the seventy (70) percent open area.

Parking Requirements

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Zoning Resolution.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Business Park (I-1 K/C)

S.F.: (No minimum)

2. BUILDING:	Min. S.F. 5,000	Max. S.F. 2,500,000
	1 space per	
3. PARKING:	Min. S.F. 1 employee	Max. S.F. N/A
	Open	1 space per
	Covered	1 employee
		% of Total 100

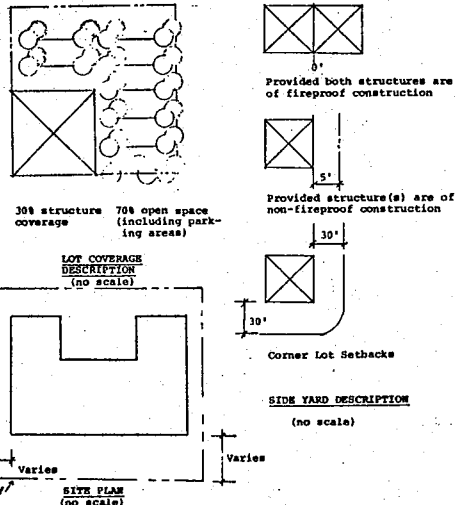
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

- A. Site Plan Concept: Individual sites and building clusters
- Bldg. Type Related to Land Use: Single & multi-tenant buildings
- Structural Design: Primarily masonry, concrete, or steel
- B. Site Drainage Concept: Surface drainage
- Landscape Concept: Building setbacks & parking islands to be mounded & landscaped w/grass, trees, shrubs
- Building Concept: Mixture of natural materials, block, brick, plaster, earth tones
- C. Site Planning Concept: Planned industrial and business park subdivision
- Street Width & Parking: Local (50' R.O.W.), Collector (60' R.O.W.) and Arterial (80' - 100')
- Circulation: Public streets

DEVELOPMENT STANDARDS

Business Park (I-1 K/C)

- Height Limit: None
- Area Regulations:
 - Lot Size: No restrictions
 - Front Yard: Varies
 - Side Yard: Varies
 - Rear Yard: 0'
- Parking Regulations: See Sec. 21F and 21G of the Jefferson County Zoning Resolution



L. Recreation and Open Space (C-0 K/C)

Use Regulations

- Agricultural uses limited to the grazing and keeping of livestock, growing of hay, grains, grasses, trees, shrubs, and truck gardens, and accessory uses thereof such as barns, sheds, corrals, etc.
- Public parks, playgrounds and other public or private recreational uses.
- Buildings and structures customarily accessory to the permitted uses.
- Deposit and/or excavation of sand, gravel, rock, earth, minerals and other similar materials under the limitations of and in the manner prescribed in Paragraph 5 of Section 25 of the Jefferson County Zoning Resolutions.
- Governmental buildings or uses such as police stations, fire stations, post offices, and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations, water wells and cable television antennas and other private and public utility uses.
- Cemetery.
- Recreation uses of all types, including but not limited to golf courses, tennis courts, swimming pools, ball fields, camping, hiking, horseback riding, equestrian facilities and bicycle trails, trap-shooting, rifle, pistol and archery ranges, and picnic areas.

Conditional Uses

- The following uses are permitted subject to such conditions as may be established by the Jefferson County Planning Commission and Board of County Commissioners to preserve the general intent and purpose of this zone.
 - Sanitary land fill, provided such fill does not create a water diversion hazard which would endanger adjacent areas, and further provided that such sanitary land fill would not create any undesirable odors or any unsightly areas to adjacent properties and/or buildings.
 - Campground for mounted camper units, camp trailers and motor homes. This provision shall apply only for campground areas for tourists, campers, hunters, fishermen, mountain climbers and other such individuals involved in similar temporary transient activity. Plans of such areas must be registered with and approved by both the Jefferson County Health Department and the Jefferson County Planning Department and be subject to all sanitary requirements of the Health Department on a continuing basis. This provision shall not be construed to permit mobile homes or trailers.

Height Regulations

- No structure shall exceed thirty-five (35) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

- Front Yard: The front yard building setback line shall be a minimum of one hundred (100) feet from any existing or proposed street or road right-of-way line.
- Side Yard: There shall be a minimum side yard of fifty (50) feet between any building or structure and the nearest property line.
- Rear Yard: There shall be a minimum rear yard of fifty (50) feet as measured from the rear property line to the nearest building or structure.
- Stream Setback: No building, structure or camper unit intended for overnight living quarters shall be permitted to be constructed or placed within the flood plain of any stream as determined by the highwater line of a twenty-five (25) year flood. The term "stream" shall be construed to include channels, wash lands, swamps, or any other area subject to inundation.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Recreation and Open Space (C-0 K/C)

S.F.: No minimum

2. BUILDING:	Min. S.F. 100	Max. S.F. N/A
3. PARKING:	Min. S.F. 0	Max. S.F. N/A
	Open	Min. S.F. 0
	Covered	Min. S.F. 0
	Underground	Min. S.F. 0
		% of Total 0

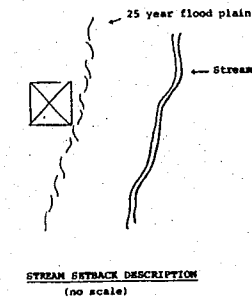
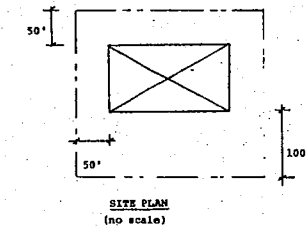
4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

- A. Site Plan Concept: Recreation building
- Bldg. Type Related to Land Use: Single & Multi-purpose building
- Structural Design: Wood or metal frame, masonry, block, brick or concrete
- B. Site Drainage Concept: Surface drainage
- Landscape Concept: Natural
- Building Concept: Mixture of natural materials, block, brick and plaster, earth tones
- C. Site Planning Concept: Cluster
- Street Width & Parking: Local (50' R.O.W.), Collector (60' R.O.W.) or Arterial (80' - 100')
- Circulation: Public and/or private streets

DEVELOPMENT STANDARDS

Recreation and Open Space (C-0 K/C)

- Height Limit: 35' Maximum
- Area Regulations:
 - Lot Size: No minimum
 - Front Yard: 100'
 - Side Yard: 50'
 - Rear Yard: 50'
- Parking Regulations: None



THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP. OCTOBER 24, 1972 SHEET 10 OF 10

THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN

BOOK 16 PAGE 46
MAP NO. 18

All the provisions of the Ken-Caryl Ranch Official Development Plan, recorded March 11, 1973, in ODP Book 1, pages 1 through 10, of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended by this North "Plains" ODP Amendment. With respect to the lands described in this North "Plains" ODP Amendment, the Official Development Plan of the Ken-Caryl Ranch is amended as follows:

A. Sheet 1

1. III.E. Third paragraph is amended to read as follows: "The average number of usable acres included with the school sites designated on the Official Development Plan is as follows:

Elementary School	10 acres
Junior High School	20 acres
Senior High School	30 acres

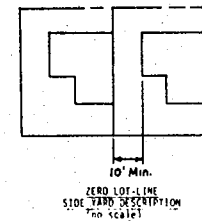
A. Sheet 2

1. "E. Height Regulations" is amended to include the following: "Building height shall be measured from top of foundation wall at basement ceiling."

2. "E. Area Regulations, paragraph 3. Side yard, first sentence", is amended to read as follows: "There shall be provided a minimum of zero (0) feet to the property line and a minimum total of ten (10) feet of side yard setback between adjacent dwellings, all of which, however, may be provided on one side where the dwellings on two adjacent lots are built with a common wall. Sentences 2 and 1 remain the same."

3. "E. Area Regulations" is amended to add the following: "5. Minimum depth of lot: No lot shall have a depth of less than one hundred feet (100'). Where the rear of a lot is adjacent to a shopping center, industrial tract, or other similar non-residential use, to the right-of-way, a railroad, or to a freeway, expressway or major arterial, the depth shall be increased to a minimum of one hundred thirty feet (130'). This depth shall be developed through a combination of lot depth and a twenty foot (20') minimum landscape strip. The Jefferson County Planning Department shall have the authority to review and approve the landscape plan as a part of the final plat process."

4. "F. Development Standards, SIDE YARD DESCRIPTION" is amended to include the following text:



5. "F. Height Regulations" is amended to include the following: "Building height shall be measured from top of foundation wall at basement ceiling."

C. Sheet 8

1. "G. Height Regulations" is amended to read as follows: "1. Height Limit: 50' Maximum
2. Building height shall be measured from top of foundation wall at basement ceiling.
3. Developer will vary roof height profiles of the residential structures."

2. "H. Development Standards, paragraph 11" is amended to read as follows: "1) Height Limit: 50' Maximum"

D. Sheet 9

1. "I." is amended to add the following new paragraph: "More than one building may be permitted on a lot, provided that overall set back and maximum building coverage requirements are met. The land zoned C-1 K/C shall be platted before building permits are issued, in order to provide the Jefferson County Planning Department an opportunity to review circulation, landscape, building location, parking and other pertinent elements of the site development plan."

APPROVAL

THIS SHEET SUPERSEDES THAT PORTION OF SHEET 1 WHICH IS SET FORTH IN ODP BOOK 16 AT PAGE 37 KNOWN AS THE NORTH PLAINS SEGMENT AS DESCRIBED BY THE ATTACHED LEGAL

THE AMENDED OFFICIAL DEVELOPMENT PLAN OF THE KEN-CARYL RANCH, NORTH PLAINS SEGMENT, IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 11TH DAY OF OCTOBER 1973.

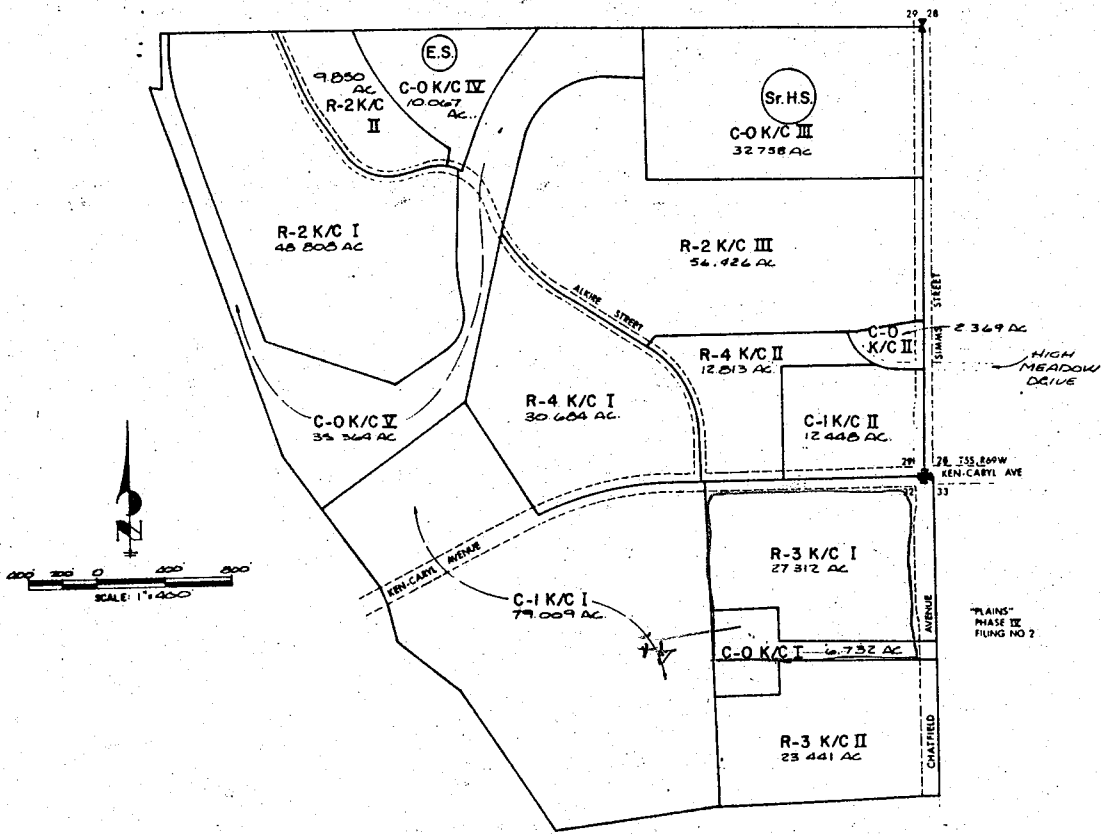
BOARD OF COUNTY COMMISSIONERS
Harold Johnson
CHAIRMAN

Margaret Zagon Deputy
CLERK
REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 3RD DAY OF OCTOBER 1973

Alfred Anderson
CHAIRMAN
Marie Roshan
SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 11TH DAY OF OCTOBER 1973.

RECEPTION NO.: 78093741 Book 16 Page 46
Margaret Zagon Deputy
CLERK AND RECORDER



TABULATION OF PLANNED DEVELOPMENT

DESCRIPTION CODE	LETTER DESIGNATION	LAND USE	GROSS ACREAGE	TOTAL UNITS
R-2 K/C I, II, & III	R-2 K/C	PATIO RESIDENTIAL	115,084	600
R-3 K/C I & II	R-3 K/C	CONDOMINIUM RESIDENTIAL	50,755	480
R-4 K/C I & II	R-4 K/C	APARTMENT RESIDENTIAL	48,497	1050
C-1 K/C I & II	C-1 K/C	REGIONAL COMMERCIAL	91,457	—
C-0 K/C I - IV	C-0 K/C	RECREATION / OPEN SPACE	87,290	—

THE KEN-CARYL RANCH
(NORTH PLAINS SEGMENT)
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

AMENDED
OFFICIAL DEVELOPMENT PLAN

SHEET 18

THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN

All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 13, 1975, in ODP Book 3, pages 1 through 10, of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended by the North "Plains" ODP Amendment I. With respect to the lands described in this North "Plains" ODP Amendment I, the Official Development Plan of The Ken-Caryl Ranch is amended as follows:

- "E. Area Regulations" is amended to read as follows: "5. Minimum depth of lot: Where the rear of a lot is adjacent to a shopping center, industrial tract, or other similar non-residential use, to the right-of-way of a railroad, or to a freeway, expressway or major arterial, the depth of lot shall be a minimum of one-hundred (100') feet; this depth shall be developed through a combination of lot depth and a twenty foot (20') minimum landscape strip. The Jefferson County Planning Department shall have the authority to review and approve the landscape plan as a part of the final plat process."
 - This Amendment applies to those areas identified as R-3 Ken-Caryl I Condominium Residential and shown on the Ken-Caryl Ranch Official Development Plan, Sheet 1 of 10, Recorded March 13, 1975, at the office of the Jefferson County Clerk and Recorder's Office, ODP Book 3, Page 1, and as Amendment on sheet "A" of 10 of the Ken-Caryl Ranch ODP, on the 4th day of December 1975 (Reception No. 750787).
- Item 3 (Parking) Under Ken-Caryl Ranch Planned Development District, is amended to read as follows:**
- PARKING REQUIREMENTS**
- On-site parking for residential uses shall be in the form of not less than two (2) parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egress) per dwelling unit.
- 3) PARKING:** Min. S.F. 400/unit Max. S.F. 2500/Blgd.

R-2 K/C I

A PORTION OF LAND IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 29; THENCE S89°51'59"W AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 3817.31 FEET TO THE TRUE POINT OF BEGINNING; THENCE S24°12'21"E, A DISTANCE OF 369.75 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE LEFT, HAVING A DELTA OF 11°40'35", A RADIUS OF 1000.00 FEET, A DISTANCE OF 203.79 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S35°52'56"E, A DISTANCE OF 205.79 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE LEFT HAVING A DELTA OF 7°09'26", A RADIUS OF 300.00 FEET, A DISTANCE OF 369.17 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE N73°36'18"E, A DISTANCE OF 145.45 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 10°41'51", A RADIUS OF 300.00 FEET, A DISTANCE OF 208.12 FEET MEASURED ALONG THE ARC TO A POINT OF CURVE; THENCE S23°21'29"W, A DISTANCE OF 30.00 FEET; THENCE S02°12'55"W, A DISTANCE OF 24.03 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE LEFT HAVING A DELTA OF 12°30'28", A RADIUS OF 1000.00 FEET, A DISTANCE OF 218.30 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S10°37'13"E, A DISTANCE OF 145.09 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 66°52'30", A RADIUS OF 250.00 FEET, A DISTANCE OF 293.80 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S56°34'57"W, A DISTANCE OF 159.67 FEET; THENCE N71°53'50"W, A DISTANCE OF 819.03 FEET; THENCE N49°49'07"W, A DISTANCE OF 3507.10 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 20°57'28", A RADIUS OF 700.00 FEET, A DISTANCE OF 256.05 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE N41°08'23"E, A DISTANCE OF 136.75 FEET TO A POINT ON THE EAST-WEST CENTER LINE OF SAID SECTION 29; THENCE N65°55'18"E AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 688.87 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 48,808 ACRES.

R-2 K/C II

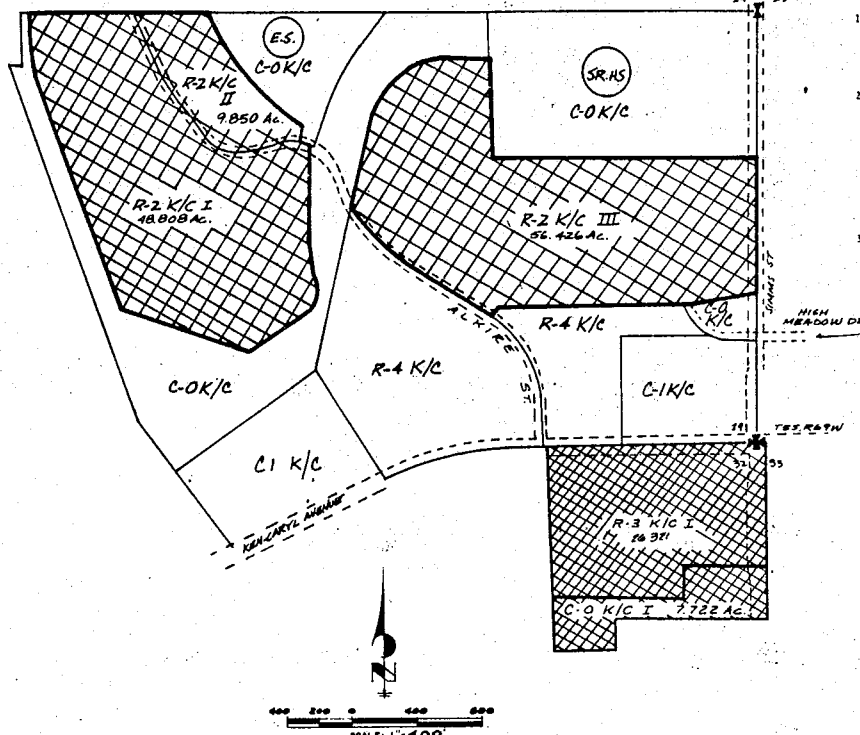
A PORTION OF LAND IN THE SOUTH ONE-HALF OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 29; THENCE S89°53'59"W AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 3363.57 FEET TO THE TRUE POINT OF BEGINNING; THENCE S27°06'29"E, A DISTANCE OF 211.04 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE LEFT HAVING A DELTA OF 24°48'29", A RADIUS OF 1000.00 FEET, A DISTANCE OF 431.82 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S51°50'58"E, A DISTANCE OF 258.99 FEET; THENCE S09°23'31"W, A DISTANCE OF 76.76 FEET; THENCE S09°04'40"W, A DISTANCE OF 40.00 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE LEFT HAVING A DELTA OF 25°28'16", A RADIUS OF 300.00 FEET, A DISTANCE OF 133.37 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S73°36'38"W, A DISTANCE OF 145.45 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 7°09'26", A RADIUS OF 300.00 FEET, A DISTANCE OF 369.17 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE N73°36'18"E, A DISTANCE OF 145.45 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 20°57'28", A RADIUS OF 700.00 FEET, A DISTANCE OF 256.05 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE N41°08'23"E, A DISTANCE OF 136.75 FEET TO A POINT ON THE EAST-WEST CENTER LINE OF SAID SECTION 29; THENCE N65°55'18"E AND ALONG THE EAST-WEST CENTER LINE OF SAID SECTION 29, A DISTANCE OF 688.87 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 9,850 ACRES.

R-2 K/C III

A PORTION OF LAND LOCATED IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 29; THENCE N00°13'40"E AND ALONG THE EAST LINE OF SAID SECTION 29 A DISTANCE OF 897.98 FEET TO THE TRUE POINT OF BEGINNING; THENCE N09°06'14"W A DISTANCE OF 50.00 FEET; THENCE S81°38'20"W A DISTANCE OF 355.00 FEET; THENCE S09°30'00"W A DISTANCE OF 1195.00 FEET; THENCE S19°23'09"W A DISTANCE OF 72.47 FEET; THENCE N69°36'51"W A DISTANCE OF 621.53 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 29°21'18", A RADIUS OF 1000.00 FEET, A DISTANCE OF 613.50 FEET MEASURED ALONG THE ARC TO A POINT OF CURVE; THENCE N62°48'27"E A DISTANCE OF 30.00 FEET; THENCE N15°23'07"E A DISTANCE OF 538.32 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT HAVING A DELTA OF 19°02'19", A RADIUS OF 450.00 FEET, A DISTANCE OF 439.27 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT; THENCE S89°34'42"E A DISTANCE OF 245.00 FEET; THENCE S48°49'57"E; THENCE N59°53'17"E A DISTANCE OF 1678.01 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29; THENCE S00°11'00"W AND ALONG THE EAST LINE OF SAID SECTION 29 A DISTANCE OF 865.01 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 56,876 ACRES.



TABULATION OF PLANNED DEVELOPMENTS

DESCRIPTION CODE	LETTER DESIGNATION	LAND USE	GROSS ACREAGE	TOTAL UNITS
R-2 K/C I II III	R-2 K/C	PATIO RESIDENTIAL	115.084	600
R-3 K/C I	R-3 K/C	CONDOMINIUM RESIDENTIAL	24.321	270
C-0 K/C I	C-0 K/C	RECREATIONAL OPEN SPACE	7.722	—

R-3 K/C I

A PORTION OF LAND LOCATED IN THE NORTH ONE-HALF OF SECTION 32 AND SECTION 33, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 32, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE N10°10'17"E AND ALONG THE NORTH LINE OF SAID SECTION 32 A DISTANCE OF 50.00 FEET; THENCE S00°22'44"E A DISTANCE OF 50.00 FEET TO THE NORTHEAST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2, AS RECORDED IN THE JEFFERSON COUNTY RECORDS, IN BOOK 52 AT PAGES 13 THROUGH 16; THENCE S00°22'44"E AND ALONG THE WEST BOUNDARY LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2, A DISTANCE OF 642.10 FEET; THENCE S89°41'15"W A DISTANCE OF 129.40 FEET; THENCE S08°15'17"W A DISTANCE OF 400.00 FEET; THENCE S01°20'41"E A DISTANCE OF 199.00 FEET; THENCE S89°15'10"W A DISTANCE OF 819.03 FEET; THENCE N02°41'14"W A DISTANCE OF 819.03 FEET; THENCE N07°10'17"W A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 32; THENCE N07°10'17"E AND ALONG THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 32 A DISTANCE OF 1390.00 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 28,011 ACRES.

C-0 K/C I

A PORTION OF LAND LOCATED IN THE NORTH ONE-HALF OF SECTION 32 AND SECTION 33, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 33; THENCE S00°22'44"E AND ALONG THE WEST LINE OF SAID SECTION 33 A DISTANCE OF 50.00 FEET; THENCE N89°39'17"E A DISTANCE OF 50.00 FEET TO THE NORTHEAST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2, AS RECORDED IN THE JEFFERSON COUNTY RECORDS, IN BOOK 52 AT PAGES 13 THROUGH 16; THENCE S00°22'44"E AND ALONG THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2, A DISTANCE OF 674.76 FEET TO THE TRUE POINT OF BEGINNING; THENCE S00°22'44"E AND ALONG THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2, A DISTANCE OF 246.86 FEET TO THE SOUTHWEST CORNER OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2; THENCE CONTINUING S00°22'44"E A DISTANCE OF 86.76 FEET; THENCE S89°37'16"W A DISTANCE OF 100.00 FEET; THENCE N69°01'07"W A DISTANCE OF 832.30 FEET; THENCE S01°20'41"E A DISTANCE OF 200.00 FEET; THENCE S89°35'13"W A DISTANCE OF 400.00 FEET; THENCE N12°24'14"W A DISTANCE OF 300.00 FEET; THENCE N89°35'10"E A DISTANCE OF 800.00 FEET; THENCE N02°41'14"W A DISTANCE OF 199.00 FEET; THENCE N69°35'15"E A DISTANCE OF 400.00 FEET; THENCE N89°11'16"E A DISTANCE OF 129.50 FEET TO A POINT ON THE WEST LINE OF KEN-CARYL RANCH "PLAINS" PHASE IV, FILING NO. 2, SAID POINT BEING THE TRUE POINT OF BEGINNING, CONTAINING 7,722 ACRES.

THIS SHEET SUPERSEDES THOSE PORTIONS OF SHEETS WHICH ARE RECORDED IN ODP BOOK 16 AT PAGES 16 AND 17 KNOWN AS THE NORTH PLAINS SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN AS DESCRIBED BY THE ATTACHED LEGALS.

THE AMENDED OFFICIAL DEVELOPMENT PLAN OF THE KEN-CARYL RANCH, NORTH PLAINS SEGMENT AMENDMENT 15 APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 4th DAY OF JULY 1979.

BOARD OF COUNTY COMMISSIONERS
Robert Stewart
 CHAIRMAN

Norman C. Ullow
 CLERK
Ann Peterson, Deputy
 REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 5th DAY OF JULY 1979.

Ed Curran
 CHAIRMAN

Stacia Revis
 SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 13th DAY OF JULY 1979.

RECEPTION NO. 79062009

Norman C. Ullow
 CLERK AND RECORDER
Ann Peterson, Deputy

THE KEN-CARYL RANCH
 (NORTH PLAINS SEGMENT)
 JOHNS-MANVILLE SALES CORP.
 JEFFERSON COUNTY, COLORADO

AMENDED OFFICIAL DEVELOPMENT PLAN

SHEET 1 of 1

p13-68

THE KEN-CARYL RANCH NORTH "PLAINS" SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN

BOOK _____ PAGE _____
MAP NO. _____

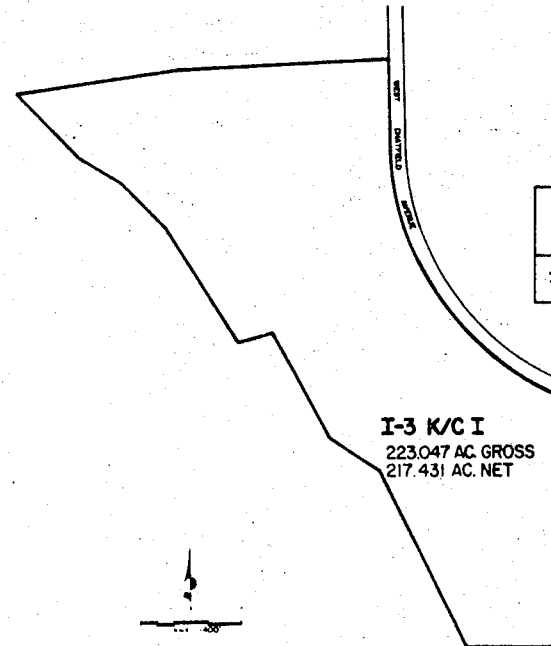
I-3 K/C I

A PORTION OF SECTIONS 12 AND 13, TOWNSHIP 5 SOUTH, RANGE 61 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 13, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE N40°15'00"W AND ALONG THE SOUTH LINE OF SAID SECTION 13 A DISTANCE OF 211.30 FEET TO THE NORTHEAST CORNER OF SECTION 4, TOWNSHIP 5 SOUTH, RANGE 61 WEST OF THE SIXTH PRINCIPAL MERIDIAN; THENCE S89°40'00"W AND ALONG THE SOUTH LINE OF SAID SECTION 13 A DISTANCE OF 209.87 FEET TO THE SOUTH ONE-QUARTER CORNER OF SAID SECTION 13; THENCE S89°40'00"W AND ALONG THE SOUTH LINE OF SAID SECTION 13 A DISTANCE OF 204.30 FEET TO THE NORTH ONE-QUARTER CORNER OF SAID SECTION 4; THENCE S89°40'00"W AND ALONG THE SOUTH LINE OF SAID SECTION 13 A DISTANCE OF 497.25 FEET; THENCE N02°00'00"W A DISTANCE OF 110.17 FEET; THENCE N89°11'00"W A DISTANCE OF 100.80 FEET; THENCE N40°11'00"W A DISTANCE OF 792.11 FEET; THENCE S89°10'00"W A DISTANCE OF 208.81 FEET; THENCE N89°10'00"W A DISTANCE OF 281.87 FEET; THENCE N40°11'00"W A DISTANCE OF 407.16 FEET; THENCE N02°00'00"W A DISTANCE OF 284.69 FEET; THENCE N40°11'00"W A DISTANCE OF 515.05 FEET; THENCE N89°10'00"W A DISTANCE OF 940.16 FEET; THENCE N89°10'00"W A DISTANCE OF 1,077.16 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF WEST CHATFIELD AVENUE; THENCE SOUTHEASTERLY ALONG THE WEST RIGHT-OF-WAY LINE OF WEST CHATFIELD AVENUE THE FOLLOWING COURSES:

- 1) S00°01'00"W A DISTANCE OF 160.04 FEET TO A POINT OF CURVE.
- 2) ALONG A CURVE TO THE LEFT HAVING A DELTA OF 49°11'11", A RADIUS OF 161.18 FEET, A DISTANCE OF 101.10 FEET MEASURED ALONG THE ARC TO A POINT ON A NON-RADIAL CURVE.
- 3) ALONG A CURVE TO THE LEFT WHOSE CENTER BEARS N40°00'00"E HAVING A DELTA OF 101°11'00", A RADIUS OF 167.00 FEET, A DISTANCE OF 100.00 FEET MEASURED ALONG THE ARC TO A POINT ON A NON-RADIAL CURVE.
- 4) ALONG A CURVE TO THE LEFT WHOSE CENTER BEARS N19°00'00"E, HAVING A DELTA OF 09°10'00", A RADIUS OF 104.16 FEET, A DISTANCE OF 271.84 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT.
- 5) S81°31'00"E A DISTANCE OF 110.00 FEET TO A POINT OF CURVE.
- 6) ALONG A CURVE TO THE LEFT HAVING A DELTA OF 20°00'00", A RADIUS OF 100.00 FEET, A DISTANCE OF 100.00 FEET MEASURED ALONG THE ARC TO A POINT OF TANGENT.
- 7) EAST A DISTANCE OF 1,040.67 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 13.
- 8) S00°01'00"E AND ALONG THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 13 A DISTANCE OF 1170.00 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 271.437 ACRES.

THE FOLLOWING PARCEL BEING A PORTION OF SECTION 13, TOWNSHIP 5 SOUTH, RANGE 61 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:



COMMENCING AT THE SOUTHEAST CORNER OF LOT 1, BLOCK 1, AS PLATTED IN KEN-CARYL RANCH "PLAINS" PHASE VIII-B, AS RECORDED IN THE COUNTY OF JEFFERSON, STATE OF COLORADO, FROM WHENCE THE SOUTH ONE-HALF CORNER OF SAID SECTION 13 BEARS S89°10'00"E A DISTANCE OF 1,077.16 FEET, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE WEST AND ALONG THE SOUTH LINE OF SAID LOT 1 A DISTANCE OF 240.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE WEST A DISTANCE OF 240.00 FEET; THENCE NORTH A DISTANCE OF 515.05 FEET; THENCE EAST A DISTANCE OF 240.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE EAST AND ALONG THE NORTH LINE OF SAID LOT 1 A DISTANCE OF 1,077.16 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CONTINENTAL DIVIDE ROAD; SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTHWESTERLY ALONG THE WEST RIGHT-OF-WAY LINE OF CONTINENTAL DIVIDE ROAD THE FOLLOWING COURSES:

- 1) S 42°10'00" W A DISTANCE OF 1,114.4 FEET TO A POINT OF CURVE.
- 2) ALONG A CURVE TO THE RIGHT HAVING A DELTA OF 20°00'00", A RADIUS OF 100.00 FEET, A DISTANCE OF 100.00 FEET MEASURED ALONG THE ARC TO A POINT OF REVERSE CURVE.
- 3) ALONG A CURVE TO THE LEFT HAVING A DELTA OF 10°00'00", A RADIUS OF 100.00 FEET, A DISTANCE OF 100.00 FEET MEASURED ALONG THE ARC TO THE TRUE POINT OF BEGINNING, CONTAINING 1.12 ACRES.

TABULATION OF PLANNED DEVELOPMENT

DESCRIPTION CODE	LETTER DESIGNATION	LAND USE	GROSS ACREAGE	TOTAL UNITS
I-3 K/C I	I-3 K/C	PLANNED INDUSTRIAL	217.431	

THIS SHEET SUPERSEDES THOSE PORTIONS OF SHEETS WHICH ARE RECORDED IN ODP BOOK _____ AT PAGES _____ AND 1200N AS THE NORTH PLAINS SEGMENT AMENDED OFFICIAL DEVELOPMENT PLAN AS DESCRIBED BY THE ATTACHED LEGALS.

THE AMENDED OFFICIAL DEVELOPMENT PLAN OF THE KEN-CARYL RANCH, NORTH PLAINS SEGMENT AMENDMENT 1, IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS 11th DAY OF March, 1980

BOARD OF COUNTY COMMISSIONERS
David E. Peterson
CHAIRMAN

Darmon C. Ulland
CLERK
By *Anna Peterson, Deputy*

REVIEWED BY JEFFERSON COUNTY PLANNING COMMISSION THIS 26th DAY OF March, 1980

David E. Peterson
CHAIRMAN

Willy T. Hearn
SECRETARY

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 31st DAY OF March, 1980

RECEPTION NO. 80024765

Darmon C. Ulland
CLERK AND RECORDER
By *Anna Peterson, Deputy*

THE KEN-CARYL RANCH
(NORTH PLAINS SEGMENT)
JOHNS-MANVILLE SALES CORP
JEFFERSON COUNTY, COLORADO

AMENDED
OFFICIAL DEVELOPMENT PLAN