11.15

NEIGHBORHOOD COMMERCIAL (R-C K/C)

LEGAL DESCRIPTION

A PORTION OF SECTION 30, INMISSION STATES OF THE SIXTH PRINCIPAL PROTOTON, COUNTY OF SEFFERSON, STATE OF COLORADO, BEING HOME PHINTICULARLY DESCRIBED AS FOLLOWS:

COMPREIDE AT A 1911H 1 FROM MENCE THE COURMEST FORMER OF SAID SECTION 30 MARS SUPPLYATIVE A DISTANCE OF 1517. 12 FEFT, SAID HININ REINE THE TIME FORMER OF 1618. THE PROPERTY OF SAID SECTION SO THE PROPERTY OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SAID SECTION OF SAID SECTION OF SAID SECTION OF SAID SECTI

ALL THE PROVISIONS OF THE KEN-CAPIT, RANCH OFFICIAL DEVELOPMENT PLAN, RECORDED MARCH 13, 1974, IN DOP BOOK 3, PAGES 1 THROUGH 10 OF THE RECORDS OF JEFFERSON COUNTY, COLONADO, SHALL CONTINUE THE FIRLE FORCE AND FEFFECE EXCEPT AS AMERICAD TO DATE OF RECORDATION PRIVOUS THE KON-CAPIT. RANCH IS AMENUED AS FOLLOWS:

NEIGHBORHDOD LOHNERCIAL (R.C. K/C)

A. USE REGULATIONS ARE AMENDED TO INFLUDE:

28. COMMENTY/RECREATION FACILITIES TO INCLUDE EQUESTRIAN CENTER, STORAGE AREAS, RESIDENCE FOR CARETAKERS OR EMPLOYEES AND OTHER RELATED ACTIVITIES.

B. MALTIPLE STRUCTURES

MULTIPLE STRUCTURES/MULDINGS SHALL BE PERHETTED ON A SINGLE LOT. SUCH STRUCTURES/ BUILDINGS SHALL BE DESIGNED INTO AN INTEGRATED PLAN FOR THE SITE.

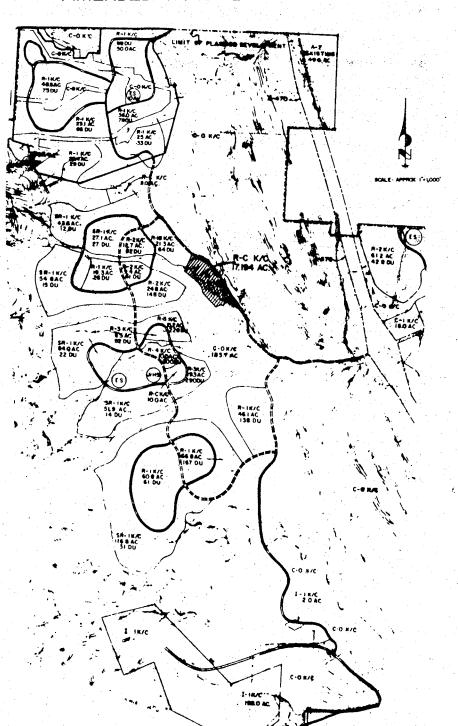
C. THE FOLLOWING REGULATIONS, GUIDFLINES, SPACE REQUIREMENTS AND DEVELOP SHALL BE AMENDED FOR THE EQUESTRIAN CENTER (1), 37 ACRES) ONLY.

1. HEIGHT REGERATIONS
NO BUILDING SHILL EXCEED BO PRET IN HEIGHT, HOMINER, THE HEIGHT LIMITS ESTABLISHED
HEREIN HAY BE RELAXED BY THE ANCHITECTURAL COMMITTEE FOR CHIMMEYS, WATER TOWERS,
ANDIO MOT TRECVISION MITCHANS, MOLERMYS, SPIRES AND FLAG-POLES.

2. <u>PARKING REQUIREMENTS</u>
A MINITAR OF RE PARKING SPACES SHALL BE PROVIDED, OFF STREET OVERFLOW PARKING SHALL BE PROVIDED.

3. BUILDING AREA NO HINIMAN NULLDING SQUARF FOOTAGE WILL BE REQUIRED.

A. MACHITECTURAL MID LIMESCAPE SUIDELINES MID SPACE REQUIREMENTS
SITE PLAN CONCEPT - NOT APPLICABLE
STRUCTURAL DESIGN - HICLINE 1800
BALLONIS CONCEPT - WILLIAM 192 - NOT APPLICABLE
STRUCTURAL DESIGN - HICLINE WOOD
STRUCTURAL DESIGN - NOT APPLICABLE
STRUCTURAL DESIGN - NOT APPLICABLE



The mented official development plan of the Kon-Caryl Ranch, the wallet secretic menerated 1, is approved and accepted by the boned of county commissioners this 3eb by or <u>september</u> 1980.

the Thursday

norman C afferment of shary of san REVIEWED BY HEFFERSON COUNTY PLANNING COMMISSION THIS HAY OF SEPTEMBER 1980.

My Dear

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE CREATE OF LIFE PRINCIPLE OF COLUMNO, THIS TAKE OF THE COUNTY CLERK AND RECORDER OF THE CREATE AND RECORDER OF THE COUNTY CLERK AND RECORDER OF THE

RICEPTION NO. STOCKS 801

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THE KEN-CARYL RANCH (VALLEY SEGMENT)

JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

AMENDED OFFICIAL DEVELOPMENT PLAN

BOO	`	PAGE.	 _
MAP	NO		 _

All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 11, 197), in ODP Book 1, pages I through 10 of the records of Jefferson County, Colorado, shall continue in full force accepts as amended to date of recordation hereof. The Official Development Film of The Ken-Caryl Ranch is semended as

J. Planned Industrial (I-) K/C)

Use Regulations

Me building or land shall be used and no building shall here-efter be erected, converted or atructurally altered, unless other-wise provided herein, escept for one or more of the following uses:

- Manufacturing, processing, fabrication, distribution or assembly of any commodity provided such uses relate directly to other permitted uses set out below. Assembly uses are limited to light industrial uses only.
- Mholesele sales, werehousing, distribution or storage of any commodity specifically permitted under the following use regulations, with the following exceptions:
 - No live animals, convercial explosives or above-groun bulk storage of flammable liquids or games may be in-cluded.
- Sales, werehousene or storage of junk, including machinery or vehicles not in operating condition, may be permitted only if contained within a beliding.
- Sale at retail of any commodity, manufactured, processed fabricated or warehoused on the presses.
- Sale at retail of hardware or equipment, supplies and materials (except commercial explosives) for soriculture, mining, industry, business, transportation, building and other construction.
- Repair, rental and servicing of any commodity, the manufacture, processing, fabrication, warehousing, distribution or sale of which is permitted.
- Covernment buildings or uses such as police stations, 'ire stations, post offices: and electric substations, das redulator stations, telephone exchanges, water reservoirs and utility pusping stations.
- 7. Parking of motor vehicles.
- Terminals for transporation and public transit vehicles (except truck terminals).
- Motor vehicle service or quantine filling stations (total number of such facilities not to exceed five (5)1.
- 10. Research and development facilities and office buildings.
- 11. Mospitals and medical buildings.
- 12. Banks, offices, laboratories, blueprinting establishments. restaurants and private clubs (including the sale for con-sumption on the premises of liquor and three point two (3.21) percent fermenced mait bewerages).
- 13. Management-seminar complexes.
- 15. Heliports, subject to the provisions of Section IV.D.
- 16. Outdoor advertising devices, subject to the provisions
- 17. Assembly of light industrial products.
- 18. Accessory uses: Residential units limited to a meminum of tem (10%) percent of the total gross floor area of any one project/or development (all residential units must be integrated into proposed buildines)
- - a. Every use shall be so separated that the volume of sound, inherently and recurrently generated, Joes not exceed 70 decibels at any point on any boundar line of the lot on which the use is located.
 - b. Every use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point on any boundary line of the lot on which the use is
 - c. Every use shall be so operated that it does not east an obnoxious or dangerous degree of heet, clare radiation or fuses beyond any boundary line of the lot on which the use is located.
 - All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
 - No materials or westes shall be deposited upon a lo in such form or manner that they may be transferred off the lot by natural causes or forces.

Off-Street Parking Requirements

Off-etreet parking spaces shall be provided for buildings Off-etreet parking spaces shall be provided for building and uses as necessaries specified. These crowstains shall apply to the entire parcal with the exception of Lot 1. Slock 1. Ken-Caryl Rench "Plains" Phase 1-A. Haendament No. 1: Lot 2. Block 1. Ken-Caryl Rench "Plains" Phase VIII-A. Lot 1. Alock 3. Ken-Caryl Rench "Plains" Phase VIII-A. Lot 1. Alock 3. Ken-Caryl Rench "Plains" Phase VIII-A. These VIII-A. The VIII-A. THE

- Location: Perking areas shall be provided upon the same lot containing the use for which they are required or on separate lots within a 500 foot radius of the int containing the use for which they are required. Such separate lots and the lot containing the use for which they are required shall be held under unified convership or control, or the owner of the lot containing the use for which they are the containing the use for which the off-attest parking is required shall hold a parking easement in such sandrate lot. ment in such separate lot.
- Screening: Any off-street parking area shall be provided a planting screen, landscaped fence or wall shutting streets and adjacent properties.
- Determination of Need: The number of parking spaces required shall be based upon the anticipated parking desained of the individual uses and shall be as desinnated for specific uses and situations as follows:
- Industrial, Storage, Marehouse uses: One (1) parking space for each 1800 square feet of gross leaseable
- Retail/Service uses: Six (6) parking spaces for each 1000 square feet of gross bessable floor area.
- Restaurants and Lounges: Ten (10) parking spaces for each 1000 square feet of gross lesseable floor area.
- Medical and Dental Offices/Clinics: Pive (5) parking spaces for each 1000 square feet of gross leaseable floor area.

Alternative Off-Street Parking Sequal counts

Those requirements set forth in Sections 21.P and 21.G. of the Jefferson County Inning Resolutions.

Height Regulations

1. None

Area Regulations

- Area and Hinimum Width of Lot: No restrictions other than the Sullding Site Coverage set out below and Parking
- Front Yard: Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty [10] feat, except that serback on a county arterial shall be a minimum of forty (40) feet, Motor fuel pumps may be erected not less than eighteen (18) feet from such
- Bide Vard: If a building is constructed of maxnery or ITreproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. If a building is constructed materials other than masonry or fireproof materials, the minimum depth of any side yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line to the side satisful line, shall be five (1) feet. On corner lotten the minimum depth of the side yard on the side satisful line, shall be five (1) feet. On corner lotts, maintry fuel course from the side lot line to the side sethed line, and the side yard on the side lot line to the side sethed line. The side lot line to the side sethed line to the side sethed line. The side lot line to the side sethed line to the side so that side lot line to the side sethed line.
- 4. Rear Yard: No rear yard setback.

Hultiple Structures

Multiple etructures/buildings shall be permitted on a single lot. Such structures/buildings shell be designed into an integrated plan for the site.

Maximum builling programs of fifty (50%) percent is allowed. Parking spaces and/or structures shall not be calculated as building area and shall be allowed in the fifty (50%) percent open area.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Plenned Industrial (1-) K/Cl ..

MIB. S.F. 5,000 __ MAR. S.F. 5,700,000

3. PARKING

Hin S.F. See Above & of Total

4. ARCHITECTURAL & LANDSUAPE CUIDELINES & STACE PROPEREMENTS:

A. Site Plan Concept: Individual sites and building clusters

Bidg. Type Related to Land Use:

Landscape Concept:

Storte & multistenent buildings Primarily frame, masunry, concrete, or steel

Structural Design: A. Site Drainage Concept

Surface drainage
Ruilling setbacks and parking Telands to be
sounded a landscaped worses, trees, shrubs, rocks
Mixture of natural caterials, block. brick and planter: earth tones Planned industrial and business park

Planned Industrial (I-) X/C)

C. Site Planning Concept:

subdivision Local (507), Collector (507) and Arterials (80'-100') R.O.M. Street Width & Parking:

None

See Aleve

Sublic Streets

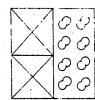
DEVELOPMENT STANDARDS

fenne

1) Height Limit 2) Area Segulation

A. Lot Size
B. Front Yard
C. Side Yard
D. Pear Yard Vation Of

)) Parking Regulations



50% open apaco



Provided both structure/siere



LOT COVERAGE

Provided structure(s) are of



THE KEN-CARYL RANCH (NORTH PLAINS SEGMENT)

JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

AMENDED OFFICIAL DEVELOPMENT PLAN

III. OUTLINE OF PROPOSED KEN-CARYL RANCH PLANNED DEVELOPMENT DISTRICT

This application for a Planned Development District, which encompasses most of the Ken-Caryl Ranch in Jefferson County, Colorado, evaluation, and planning efforts of Johns-Manville Sales Corporation and a wide variety of professional and technical consultants, including experts in the fields of economics, ecology, hydrology, transportation, civil engineering, land use planning, environmental, ecology, architecture, and sociology.

The evaluation and analysis efforts of this planning group were initially directed coward the development of 111 a documentation and united the development of 112 a documentation and analysis of the entiting and future needs and investigation and analysis of the entiting and future needs and pressures for economic development in both the local area surrounding the Ranch and in Jefferson County as whole. Considerable attention was also given to Jefferson County's assessment of the desired direction and intensity of development for the County's as est out in the County's

On the basis of the above studies of the existing uses and fore-casted development trends, the efforts of the planning group were then directed toward the development of a land use plan for the Ranch which would most fully serve the future needs of the County while causing

This application represents the results of the planning group's efforts to achieve the above-stated goals. The development of the plan for the Ranch presented a unique challenge for the Planning group because of the variety of geological conditions, environmental resources, and points of historical importance on the Ranch. In order to seet the challenge of preserving and maximizing the benefits of these values, the planning group was required to create development concepts for the fulfilling all of the requirements of the County Master Flan, are not specifically provided for within the zoning resolutions or suddivision regulations of Jefferson County.

B. Planned Development Statistics

The Jefferson County Comprehensive Puture Land Use Plan (1967) and the Jefferson County Future Land Use Plan - Mountain Area (1972) designate a total maximum population for the lands included within the proposed PD district of 22191 or, translated to dwelling units,

However, Johns-Manville agrees to limit the total number of decling units within the proposed PD district to a total of 5500 units, or an average density of .50 dwelling units per acree. The residential population at the

Prior to the time of final platting, it is difficult to determine the precise mit between dealling unit types. Therefore, a total of 5,650 deelling units is indicated on the proposed official Development Plan. The following table summarises the land uses, acreages, and dwelling units as shown on the proposed official Development Plan.

and the second second				
Land Use	Letter Designation	Net Acreage	Total Units	
Highlands Residential	SR-2 K/C	850	52	
Ranch Residential	SR-1 K/C	454	122	
Estate Residential	R-1 K/C	442	759	
Detached Residential	R-1B K/C	100	411	
Patio Residential	R-3 K/C	374	2442	
Condominium Residential	R-3 K/C	98	1464	
Apartment Residential	R-4 K/C	55	1400	
Neighborhood Commercial	R-C R/C	41		
Regional Commercial	C-1 K/C	89		
Planned Industrial	1-3 K/C	257		
Business Park	1-1 K/C	277		
Recreation and Open Space	C+0 K/C	5691	:	
Schools and Parks	1.	140		
Roads		264		
TOTALS		9139	6650	

C. Water and Sanitation Services

In the highlands area, which constitutes approximately 850 acres of the Ken-Caryl Ranch and includes a total of 52 parcels, water and sanitation facilities will be furnished respectively by wells and septic taxs drilled and constructed in strict compliance with all applicable state and country statues, ordinances, rules, and regulations.

rimunial consultants have been retained for assistance with respect to lesiance of operate obligation bonds of the District to finance the construction of the major water transmission lines, storage reservoirs and outfall sever lines. The local distribution events and sewage collection system will be installed by the District for contration and maintenance.

The District's Service Plan, prepared pursuant to Chapter 89, will cower the same area as the District. Final ruling on the Service Plan by the Board of County Commissioners is expected prior to action by the Board on the within application. Formation of the Ken-Caryl Ranch Mater & Sanitation District will be completed after the Board of County Commissioners rules on this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

1. Master Association

a. Organization.

Johns-Manville will organize a non-profit compo-ration or unincorporated association (the "Master Association") for general ownership and adminis-der of the state of the Manch are platted arcas. As various parts of the Manch are platted auch areas, other than those which are then dedi-cated to governmental bodies or to be conveyed for private ownership, which are included within each respective plat will be conveyed to the Master Association.

Membership in the Master Association will be mandatory upon all landowners within the Ranch and will run with ownership of the land. All members will be entitled to vote for the directors.

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the general welfare and enjoyment of the owners and occupants of the Ken-Caryl Ranch. In implementation of this primary purpose, the Master Association will have power to own and operate, and to sell. lease, and dedicate lands for all variety of services and operate and the sell of the sell o to be expended for the benefit of the properties so assessed. All assessments shall constitute liens which may be foreclosed if not paid when due. Its duties will also include enforcement restrictive covenants application to the Ken-

The Master Association members will meet annually for the election of directors, who in turn will elect the officers in the officers and directors of the Master Association will meet as requiarly as mocessary for orderly operation and administration. The Master Association will prepare, promulyate and enforce such rules and requiations as are necessary to effect its purposes.

Architectural and Environmental Control Com-mittee,

An Architectural and Environmental Control Committee (hereinafter the Architectural Committee) will be appointed by the board of directors. Its primary function will be to insure that all development is in full compliance with this development is in rull compliance with this Planned Development District Zoning Ordinance, applicable restrictive covenants, and such rules and regulations as may be adopted from time to time by the Architectural Committee.

Johns-Manvillewill organize non-profit corporations or unincorporated assocations (hereinafter the "Sub-Associations") for localized areas within the Rem-Caryl Ranch to further the specific needs, desires and interests of the owners and occupants of such localized areas.

Membership in the Sub-Associations will be mandatory upon all landowners within the affected areas and will run with the land. All members will be entitled to vote for the directors.

Except as reserved to itself by the Master Association or the Architectural Committee, the duties, powers and authority of the Sub-Associations shall be as set forth below.

The primary purpose of sach Sub-Association will be to own, operate and administer the recreation, open spaces and comman areas within its spacific area for the general welfars and enjoyment of the open spaces and common areas within its spacific area for the general welfars and enjoyment of the primary purpose, each Sub-Association will have the power to own and operate and to sell, lease and dedicate lands for all variety of recreational uses consistent with the soning applicable to such lands. Sach Sub-Association will pay all operational expenses. Each Sub-Association will levy equitable assessments upon its members to cover its expenses of operation. All assessments shall constitute liens which may be foreclosed if not paid when due. The Sub-Associations may deliquide to collect such assessments. The duties of each Sub-Association may also include enforcement of restrictive covernants applicable to its specific area.

Each Sub-Association will meet annually for election of the directors, who in turn will elect the officers. The officers and directors will meet as requisity as necessary for orderly operation and administration. Each Sub-Association will prepare, promulgate and enforce such rules and requisitions as are necessary to effect its purpose.

E. Schools

In discussions with the Jefferson County R-1 School District, it has been determined that the Ken-Caryl Ranch planned development and the surrounding planning areas will require a total of five elementary schools, one junior high school, and one senior high school.

These school sites are tentatively located on the proposed official bevelopment Plan included with this (line, Prior to the time of filing for timal plat approval any plat upon which will be located a school site, the site will be mutually agreed upon as to exact location between the developer and the District, and the developer will reserve and dedicate the site to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is as follows:

Elementary School	17 ac
Junior High School	20 ac
Senior High School	35 40

Interstate-470, as planned by the State Division of Highways, extends through the Ren-Caryl development in a north-south direction generally parallel to the Dakota Hophack. It is estimated that construction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chatfield Avenue westerly from its existing terminus at South Garrison Street to the property boundary. Off-wite right of way has not been acquired for this route. Other access routes shown on the Jefferson county master plan of highways are: South Simms Street southerly to a connection with Chatfield Avenue, Ren-Caryl Road westerly to an interchange with 1-470, Kipling southerly to an interchange with 1-470 and existing Deer Creek and Turkey Creek Roads.

G. Fire Prevention and Protection

The property included in this PD application currently lies within two its districts - Inter-Campon Firs Protection District and Bancroft Firs Protection District. Additionally, there are approximately 840 acres which are not currently within either of these two districts. It is the intent of the developer to cooperate with both Inter-Campon and Bancroft in an attempt to establish and maintain adequate fire prevention and protection measures.

The Official Development Plan contains abundant natural oper areas, designated as C-O K/C, which areas serve as fire safety zones.

To minimize fire hazards during construction, the developer shall promptly dispose of all trash, brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadsides in a fire hazard-free condition.

The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirements of the appropriate fire districts.

At the time of filing any plat for final approval, the developer shall designate such casements as are necessary for public and private utility purposes, roads, state highways, pedestrian ways. hiking, bicycling, and equestrian paths and natural drainage and 100-year flood ways.

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and regulations adopted pursuant thereto.

It shall be the policy of the developer to practice restoration of the natural terrain, including the replacement and stabilization of topsoil, revegetation, reforestation and blending of areas scarred by construction activity.

All structures to be built as part of the Ken-Caryl development will conform to the Jefferson County Building Codes then in effect.

L. Keeping of Domestic Pets

Domestic Pets, for personal use, may be kept in all residential land-use classifications provided, however, the raising of domestic pets for commercial purposes is prohibited.

IV. GENERAL ZONING REGULATIONS

Signs

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be sat forth by the Committee or any "For Sale" or "For Lease" signs not more than three feet by two feet (3" x 2"), of plain white with black block letters.

Normal traffic and other county street signs, house numbers name plates and other legal notices do not require Architectural Committee approval.

B. Pences and Walls, Paths and Walks

All fences and walls of any material must be approved by the Architectural Committee.

Paths and walks will be constructed by the developer and indicated on each of the recorded plats. Construction of these paths and walks will vary depending on the purposes for which they are intended.

Storing of refuse will be parmitted only in enclosed containers, which containers shall be screened from public view. Removal of refuse will be handled by one or some of the companies currently or hereafter franchised by the Coloredo Public Utilities Commission to serve this area.

No landing and take-off of helicopters or other similar sizeraft shall be allowed on private or common property except at a specified location(s) and facility(ies) within the RC KC, C-1 KC, C-1 KC, and 1-1 KC-districts. If provided, such facility shall be subject to the approval of the Architectural Committee and the applicable county, state and federal regulatory agencies.

Except in the SR-2 K/C zone, all utility lines distributing normal domestic service shall be located underground.

F. Boat, Camper and Trailer Storage

Storage of boats, campers, trailers, motor bicycles, snow-mibles, or other similar recreation vehicles shall not be penited in the Planned Development District, except within one or entened garage or shed, or at such designated, visually protected locations as specified by the developer at the time of filing any plat for final

G. Definitions

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the meanings set forth in Section 29, Definitions, of the Jefferson County Zoning Resolution.

The torm "Flag lot" shall mean a lot shaped like a bulb and atem or a Ida and flaspole, wherein the stems or pole portion of the lot fronts upon a public or private street. The minimum frontage upon a public or private street shall be twenty (20) feet. The front yard shall begin at, and the setback line shall be measured from, the end of the stem or pole farthest from the street.

A "Building Envelope" is defined as that area with a lot in which all dwellings, garages and accessory outbuildings must

"Home Occupations" shall be all such as are approved by the Architectural Committee, and the definition thereof in Section 29 of the Jefferson County Zoning Resolutions shall not apply.

Actual Location Determines Applicable Soning

In any case where a building or other structure is built or a use is made which would be permitted in a more restrictive zone, the regulations which shall apply to such building, atructure or use shall nevertheless be those which are applicable to the zone district in which in fact such building or structure is built or such use is

V. SUBDIVISION STANDARDS

Street Classifications

The streets shown on the Official Development Plan are designated as follows:

Right-Of-Way	Kinimum Travelled Widt
100 feet 100 feet	6 Lane - Divided 4 Lane - Divided
80 feet	4 Lane - Undivided
50 feet	2 Lane - Undivided

After construction, certain roads may be dedicated to Jefferson County for operation and maintenance. 5 Lane Divided, 4 Lane Divided, and 4 Lane Undivided roads located within the proposed PD District will be improved by the developer to Jefferson County Collector Road standards.
 Lane Undivided roads will be improved by the developer to their full improvement atandards.

On all rights-of-way dedicated to Jefferson County, the road specifications, cui-de-sac design standards, drainage, radii, etc. shall conform to Jefferson County subdivision ordinance standards.

C. Street Lighting

Street lighting shall be included in all areas except the SR-2 K/C, SR-1 K/C and R-1 K/C xones.

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

Prior to submission to the Board of Adjustment of any matter governed or meant to be governed within the Ken-Caryl Ranch Planned Development District, such matters shall first be reviewed and approved by the Architectural Committee.

All restrictions and conditions of this Plan shell conform to the Jefferson County Zoning Resolution, Subdivision Req-ulations, engineering specifications and all other applicable county requirements in force and effective as of October 24, 1972 except as expressly stated herein.

The Ken-Caryl Ranch Planned Development District shall be subject to the filing from time to time of approved incremental subdivision plats and to the recording of an approved Official Development Plan.



THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24,1972 | SHEET 4 OF IO

Apartment Residential (R-4 K/C)

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following

- 1. Multiple-family deedling.
- 2. Private garage or parking facilities.
- Church or parish house.
- Schools, pre-schools and day nurseries.
- Public and private libraries; public and private susaums; community facilities.
- Public parks, playgrounds and other public or private recreational uses.
- Nursing homes and clinics, but not including institutions exclusively for the mentally disturbed or mental defectives, or for contagious or infectious diseases.
- Commercial service activities which are accessory to the main use of the building such as cafeteries, offices, studies, and personal services such as beauty parlors, bather shope, laundry pick-up stations and pharmacies, may be conducted provided said use is contained within the main building. However, the sum total of commercial uses may not exceed sore than 10% of the floor area of any single building of stronger course. The entrance of any single building of the course of the entrance of any single will be form inside the building. Such accessory business will building.
 - is subordinate to and serves the principal building or principal use; and
 - is subordinate in area, extent, and purpose to the principal building or principal use served; and
 - contributes to the comfort, convenience or necessity of occupants of the principal building or principal use served; and
 - d. is located on the same lot as the principal building
- Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
- Telephone exchanges, electric substations, including electric transmission and distribution lines, and quarequiator stations where no repair or storage facilities are maintained, providing such facility is screened from public view to a height of six (6) feet.
- 11. Water supply reservoirs, wells, water, towers and filter beds.
- Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:

 - Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property:
 - c. Temporary buildings and uses incidential or necessary for the sale or rental of real

Height Regulations

Area Regulations

- Area and Minimum Midth of Lot: For every main building herseftor erected or structurally altered, there shall be provided a minimum lot area of one-half (1/2) acre. The minimum width of lot shall be eighty-five
- Front Yard: The minimum depth of front yard for bulldings shall be twenty (20) feet. If parking space is to be provided in the front yard setback, it shall be soreened from the street by fence, well or planting, Said fence, well or planting, Said fence, well or planting will conform to the provisions of Section IV.B.
- Side Yard: No minimum side yard shall be required when one of the following conditions prevails:
 - Structures which abut upon a plaza, park, mall or other permanent open green space may abut the common property line and have openings onto such appurtenances.
 - b. Where there are no openings on a given side of a structure, that side may be placed on the property line and may abut a structure on an adjoining lot where the latter structure also openings on its abutting side.
 - An attached or detached garage or carport may abut a side property line or another structure provided no openings are located on the abutting

If one of the above conditions does not prevail, a minimum setback of five (5) feet shall be required and the minimum distance between unattached structures shall be ten (10) feet which may be either on the

Rear Yard: The minisum depth of all rear yards for buildings shall be ten (10) feet. If parking space is to be provided adjacent to an existing street, it shall be screened from the street by fence, wall or planting. Said fance, wall or planting will conform to the provisions of Section V 8. below.

No multi-family dwelling may be constructed or mitered with this zone district which contains an average density of more than thirty-five (35) dwelling units per core.

Percentage of Lot Coverage

A minimum of thirty (30) percent of the lot area shall be retained for open space or private recreation area.

Parking Requirements

A minimum of two (2) off-street parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and egroes) shall be provided for each dwelling unit. The open space or private secreation area referred to above may be used in whole or in part for the off-street parking spaces required herein.

KIRS-CARYL PARCH

PLANESD DEVELOPMENT DISTRICT

1. LAND USE TYPE: Apartment Residential (R-4 K/C)

a w . 21.780 (k acre) minimum

	0.2.1 444	700 17 00	,		
2.	BUTLDING:	Min. S.F			N/A
э.	PA RKING	Hin. S.F	2 off-street spaces/unit		H/A
	Open	Min. S.F	l off-street - space/wnit	% of Total_	50
	Covered -		l off-street		
	Underground }	Min. S.F	space/unit	% of Total	50
4.	ARCHITECTURAL & LA		Attached units	with attached	d, detached,
	A. Site Fini Con	.epc:	NATIONAL DESIGNATION		
	Bldg, Type Rel	lated to	Multiple famil	y residential	<u> </u>
	Structural Des	eigne	Primarily WOOd	, masonry, co	ncrete,or st

B. Site Drainage Concept: Surface drainage

Landscape Concept:	Grass, trees and shrubs
	Mixture of natural materials; block,
Building Concept:	brick and plaster; earth tones

C. Site Planning Concept: Multiple cluster residential

DEVELOPMENT STANDARDS

Local street (50' R.O.M.) (60' R.O.W.) or Arterial (80'- 100')

Circulations Public streets

Apartment Residential (R-4 K/C)

1) Height Limit

2) Area Regulations

A. Lot Size

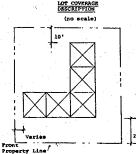
21,780 s.f. (1/2 acre) Minimum 20' Varies

3) Parking Regulation

2 - off street parking spaces per unit









Side Yard required for park or



Side Yard required provided two structures



Minimum setback from property lines on unattached structures ___ Prop. Line



Minimum setback from property lines on unattached structures

SIDS YARD DESCRIPTION (no scale)

H. Neighborhood Commercial (R-C K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following

- Business and professional offices, medical and dental clinics and enclosed small-animal veterinary hospitals.
- Laboratories, except those which involve any hazardous process or emit noxious noise, dust and odor.
- Service stablishments, such as cleaning and pressing shops, tailor shops, dressmaking shops, barber shops, beauty parlors, watch and jowelry repairing, pharmacies, and pick-up stations for laundry and/or dry cleaning.
- Private schools (including private, vocational, trade or professional schools), pre-schools and day nurseries (including those uses commonly accepted as accessory thereto when located on the same premises).
- Community buildings, Y.H.G.A.s, T.M.C.A.s, churches, libraries, parks, sussums, aquariums and art galleries.
- Hortuaries.
- Art, photographic, dance, music, radio and television studios.
- Parking of automobiles of clients, patients, patrons or customers of the occupants of adjacent commercial districts.
- 10. Living quarters in a building other than a dwelling.
- Package liquor stores and outlets and package three point two percent (3.2%) fermented malt beverage stores and outlets; taverns, night clubs, private clubs and bars.
- Restaurants, delicatessens, catering establishments, cafes and drive-in restaurants, including the sale for consumption on the presides of liquor and three point two percent (3.21) fermented malt beverage.
- Signs (illuminated or otherwise) identifying the use or uses on the premises where the sign is located.
- Newspaper offices and blue printing establishments.
- Rental agencies, except those for automobiles, campers, trailers, or heavy equipment, provided such agencies are fully enclosed.
- 16. Car wash, garage and/or motor fuel filling station.
- 17. Stores for retail trade.
- 18. Heliports, subject to the provisions of Section IV.D.
- Special trades contractors, including plumbers, carpenters and electricians.
- Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
- Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities
- 22. Water supply reservoirs, wells, water towers, filter beds.
- Other such similar commercial uses as listed in 1 thru 22 which are not more detrimental to uses in said district than are the uses by right hereinbefore enumerated.

Beight Regulations

No building shall exceed forty (40) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennes, monuments, spires and flag-poles.

Area Regulations

- Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements set
- Building Setbacks: No outdoor storage of any products or parking will be allowed in the sreas reserved for building setbacks. Additionally, the applicable Jefferson County Ioning Resolutions regarding sits distance must be followed on all building setbacks:
 - a. Pront Yard: The minimum front yard for any building shall be ten (10) feet.
 - side Yard: If a building is constructed of masonry or lireproof material, no side yard shall be required sacept when located on sourmer location search when located on sourmer locations and the same state there shall be a side yard of not less than five (5) feet on each side. On a corner lot there shall be a side yard of not less than five (5) feet on each side. On a corner lot there shall be a side yard of not less than the location of the side adjoining the attest. On corner lots, motor fuel puepe may be exected not less than eight of the location of the street be side lot line on the side adjacent to the street be side lot line on the side adjacent to
 - c. Rear Yard: The minimum depth of rear yard shall be five (5) feet.

Building Site Coverage

Parking spaces and/or parking structures shall not be calculated as building sreas and shall be allowed in the fifty (50) percent open area.

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Foning Resolution.

KIRK-CARYL RANCE

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE	Neighborhood Commercial (R-C K/C)				
s.P	, (No minimum)				
2. BUILDING:	Min. S.F				
3. PARKING	Min. 6.F	7,500 Max. S.F. 450,000			
Open	Min. S.P	. 7,500 % of Total 100			
Covered	Min. 5.7	. 0 % of Total 0			
Underground	d Min. S.F	0 % of Total 0			
A. Site Pla	n Concept:	UIDELINES & SPACE REQUIREMENTS: Attached & detached business with common parking Multi-temant buildings			
Structur	al Design:	Primarily masonry, concrete, or steel			
B. Site Dre	inage Concept:	Surface drainage			
Landscap	e Concept:	Building setbacks & parking islands to a mounded & landscaped w/grass, trees, shi Mixture of natural materials, block,			
Building	Concept:	brick and plaster; earth tones			
C. Site Pla	nning Concept:	Padestrian oriented cluster shoppings related parking areas Local (50°), Collector (60°) or			
Street W	iidth & Parkings	Variate (80, - 100,)			
Circulat	tions	Public streets			

DEVELOPMENT STANDARDS

40 Haginum

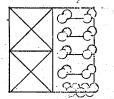
Reighborhood Commercial (R-C K/C)

1) Height Limit 2) Area Regulations

No restrictions A, Lot Size B, Pront Yard C. Side Yard Varies

D. Rear Yard 5' 3) Parking Regulations

See Sec.21F and 21G of the Jefferson County Toming Reso-lution

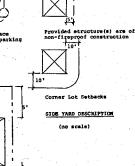




50% open space (including parking areas

DESCRIPTION

SITE PLAN



Varies

Property/

THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24, 1972 | SHEET 8 OF 10

BOOK ____ __PAGE_ MAP NO.

All the provisions of The Men-Caryl Ranch Official Development Plan, recorded March 13, 1973, in ODP Book 3, pages 1 through 10 of the records of Jefferson County, Colorado, shall continue in full force and effect except as amended to date of recordation hereof. The Odvelopment Plan of The Men-Caryl Ranch 13 semended as

J. Plenned Industrial (I-3 K/C)

Use Regulations

No building or land shall be used and no building shall here-after be erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Manufacturing, processing, fabrication, distribution or assembly of any commodity provided such uses relate direct-ly to other permitted uses set out below. Assembly uses are limited to light industrial uses only.
- 2. Wholesele sales, warehousing, distribution or storage of any commodity spacifically permitted under the following use regulations, with the following exceptions:
- Sales, warehousehe or storage of junk, including machinery or vehicles not in operating condition, may be permitted only if contained within a building.
- Sale at retail of any commodity, manufactured, processed fabricated or warehoused on the presses.
- Sale at ratail of hardware or equipment, supplies and materials (except commercial explosives) for agriculture, mining, industry, business, transportation, building and other construction.
- Repair, rental and servicing of any commodity, the manufacture, processing, fabrication, warehousing, distribution or sale of which is permitted.
- Government buildings or uses such as police stations, 'ire stations, post offices; and electric substations, das regulator stations, telephone exchanges, water roservoirs and utility pumping stations.
- 7. Parking of motor vehicles.
- 8. Terminals for transporation and public transit vehicles (except truck terminals).
- 9. Hotor vehicle service or quadline filling stations (total number of such facilities not to exceed five (5)).
- Research and development facilities and office buildings.
- 11. Mospitals and medical buildings.
- Banks, offices; laboratories, blueprinting establishments, restaurants and private clubs (including the sale for con-sumption on the premises of liquor and three point two (3.21) percent fermented salt beverages).
- 13. Management-seminar complexes.
- 15. Heliports, subject to the provisions of Section IV.D.
- Outdoor advertising devices, subject to the provisions of Section IV.A.
- 17. Assembly of light industrial products.
- 18. Accessory uses: Pesidential units limited to a making of ten (10%) percent of the total gross floor area of any one project/or development (all residential units must be integrated into proposed buildings).
- The uses hereinabove set forth shall be subject to the following limitations and conditions:
 - e. Every use shall be so separated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
 - b. Every use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point on any boundary line of the lot on which the use is
 - c. Every use shall be so operated that it does not emit an obnoxious or dangerous degree of heat, clare radiation or fumes beyond any boundary line of the lot on which the use is located.
 - d. All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
 - No meterials or wastes shall be deposited upon a lot-in such form or manner that they may be transferred off the lot by natural causes or forces.

Off-Street Parking Requirements

Off-street parking spaces shall be provided for buildings and uses as hereinafter specified. These provisions shall apply to the entire parcel with the exception of Lot 1, Slock 1, Ken-Caryl Ranch "Plains" Phase I-A, Amendment No. 1: Lot 2, Slock 1, Ken-Caryl Ranch "Plains" Phase I-A, Lot 1 and 2, Ken-Caryl Ranch "Plains" Phase VIII-A; Lot 18, Slock 5, Ken-Caryl Panch "Plains" Phase VIII-A; Lot 18, Slock Telains" Phase VIII-A; Rock "Plains" Phase III-A; Lot 18, Slock Telains" Phase VIII-C; and Ken-Caryl Ranch "Plains" Phase III-C.

- 1. Location: Parking areas shall be provided upon the same 101 Containing the use for which they are required or on separate lots within a 500 foot radius of the int containing the use for which they are required. Such separate lots and the lot containing the use for which they are required shall be held under unified ownership or control, or the owner of the lot containing the use for which they are set unified to work the property of the off-attest parking is required shall hold a parking easement in such separate lot.
- Screening: Any off-street parking area shall be provided a planting screen. landscaped fence or wall abutting streets and adjacent properties.
- Determination of Need: The number of warking spaces required shall be based upon the anticipated parking demand of the individual uses and shall be a designated for specific uses and situations as follows:
- a. Office uses: Four (4) parking spaces for each 1000 square feet of gross leaseable floor area.
- Industrial, Storage, Marehouse uses: One (1) parking space for each 1000 aquare feet of gross leaseable floor area.
- c. Retail/Service uses: Six (6) parking spaces for each 1000 square feet of gross lesseable floor area.
- d. Restaurants and Lounges: Ten (10) parking spaces for each 1000 square feet of gross lesseable floor area.
- Medical and Dental Offices/Clinics: Five (5) parking snaces for each 1000 square feet of cross leaseable floor area.

Alternative Off-Street Parking Requirements

Those requirements set forth in Sections 21.P and 21.G. of the Jefferson County Zoning Resolutions.

Height Regulations

1. None

Area Regulations

- Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage set out below and Parking
- Front vard: Except as hereinafter provided, the minimum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that sethack on a county arteria) shall be a minimum of forty (40) feet. Notor fuel pumps may be executed not less than eighteen (18) feet from such
- side Yard: If a building is constructed of meannry or Tireproof materials, no side yard shall be required on an interior lot or on that side of a corner lot which is not adjacent to a street. (If a building is constructed of materials other than meannry or fireproof materials, the minimum depth of any side yard of an interior lot or _12^* yard of a corner lot on that side which is not adjacent to a street, measured from the side lot line, to the side setheck line, shall be five (5) feet. On corner lots, the sinemum depth of the side yard on the interior lots, the sinemum depth of the side yard on the line to the side setheck line, shall be five (5) feet. On corner lots, moiror fuel pumps may be exected not less than eighteen (18) feet from the side lot line on the side squarent to a street.
- 4. Rear Yard: No rear yard setback.

Multiple Structures

Multiple structures/buildings shall be permitted on a single lot. Such structures/buildings shall be designed into an integrated glas for the size.

Maximum building coverage of fifty (50%) percent is allowed. Parking spaces and/or structures shall not be calculated as building area and shall be allowed in the fifty (50%) percent open area.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Planned Industrial (1-3 K/C)

- Min. S.F. 5,000 Max. S.F. 5,700.000 2. BUILDING:
- 3. PARKING: Hin. S.F. See Atkive Hax. S.F. N/A

Covered

Underground

- 4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE PEQUINIMENTS:
 - A. Site Plan Concept Individual sites and building clusters

Single & multi-tenant buildings Primarily frame, masonry, concrete, or

Structural Design: B. Site Drainage Concept

Landacape Concept:

Surface drainate building action Talands to be mutilding actions and parking Talands to be musuated a landscaped worker, breed and lateral actions, brief and plaster; carsh tongs flagmed industrial and business park

C. Site Planning Concept: subdivision Local (50"), Collector (60") and Arterials (80'-100') 8.D.H. Street Width & Parking:

Public Streets

Planned Industrial (1-3 K/C)

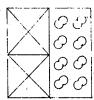
1) Height limit

None

2) Area Regulations

A. Lot Size
B. Front Yard
C. Side Yard
D. Pear Yard Varies

1) Parking Regulations Sec Alave



including parking





ton scales

Provided structure(a) are of



JOE YARD DESCRIPTION

Front -

1 Varior

Varies

THE KEN-CARYL RANCH (NORTH PLAINS SEGMENT) JOHNS-MANVILLE SALES CORP.

JEFFERSON COUNTY, COLORADO AMENDED

OFFICIAL DEVELOPMENT PLAN

III. OUTLINE OF PROPOSED REN-CARYL RANCH PLANNED DEVELOPMENT DISTRICT

Purpose and Intent

This application for a Planned Development District, which seems note of the Kee-Caryl Reach in Jefferson County, Colorado, excesspasses most of the Kee-Caryl Reach in Jefferson County, Colorado, exclusion, and planning efforts of Johns-Hanville Sales Corporation and a vide variety of professional and technical consultants, including apparets in the fields of soonomakes, seclopy, hydrology, transportation, civil segimenting, land use planning, environmental, ecology, architecture, and sociology, architecture, and sociology.

The evaluation and analysis efforts of this planning group wers initially directed toward the development of (i) a documentation latest the development of (i) a documentation latest the development of the system and future needs and pressures for economic development is both the local area surrounding the Ranch and in Jefferson County as a whole. Considerable attention was also given to Jefferson County's assessment of the desired direction and intensity of development for the County's as each cut in the County's

On the basis of the above studies of the existing uses and fore-casted development trends, the afforts of the planning group were then directed coward the development of a land use plan for the fanch which would most fully serve the future needs of the County while causing a minimum disruption of existing land uses in the area.

This application represents the results of the planning group's efforts to achieve the above-stated quals. The development of the plan for the Ranch presented a unique challenge for the planning group because of the variety of geological conditions, environmental resources, and points of historical importance on the Ranch. In order to meet the challenge of preserving and maximizing the benefits of these values, the planning group was required to create development concepts for the Ranch which, while maintaining an internal continuity of design and fulfilling allowed the provided for which, the source where I have been concept and previously approximately approximate

B. Flanmed Development Statistics

The Jefferson County Comprehensive Peture Land Use Plem (1967) and the Jefferson County Peture Land Use Plan - Mountain Area (1972) designate a total maximum copulation for the lands included within the proposed PD district of 22191 or, translated to dealing units, 6489 units.

Bowever, Johns-Manville excess to limit the total number of desling units within the proposed PD district to a total of 5500 units, or an average dessity of .60 desling units per acre. The residential population at the sud of the approximate 20-year development life of the project, based on the 5500 unit limitation, is estimated to be 17820.

Prior to the time of final planting, it is difficult to decramine the precise mit between dwelling unit types. Therefore, a total of 5,550 dwelling units is indicated on the proposed official bevelopment Plan. The following table summarizes the land uses, acresque, and dwelling units as shown on the proposed official bevelopment Plan.

Land Dwa	Letter Designation	Het Actuage	Yotel Units
Highlands Residential	88-2 K/C	850	52
Rench Residential	SR-1 E/C	454	122
Estato Nocidential	R-1 E/C	442	759
Detached Residential	R-18 K/C	108	411
Patio Recidential	N-2 K/C	374	2442
Condominium Residential	8-3 K/C	98	1464
Apertment Residential	R-4 K/C	55	1400
Meighborhood Commercial	R-C K/C	41	
Regional Commercial	C-1 K/C	. **	
Planmed Industrial	I-3 K/C	257	
Besiness Park	1-1 K/C	277	
Recreation and Open Space	C-0 K/C	5691	
Schools and Parks		140	
Roads		264	
TOTALS		23.32	6650

Water and Sanitation Services

In the highlands area, which commutatives approximately 856 acres of the Kea-Caryl Ranch and includes a total of 52 parcels, water and sanitation facilities will be furnished respectively by wells and septic task drilled and commutatived in atrict compliance with all applicable state and commuty statuse, ordinances, rules, and repulations,

A special district, The Kem-Caryl Ranch Water & Senitation District, will be organised under Chapter 89 of the Colorado Bevised Ratumes over the lands covered by this application exclusive of the aforesaid sixplained srem. Respectations or considering the control of the second state of

reprinciples consistent have been accounted as assessment of the consistence with responding the construction between the construction of the sajor water transmission lines, storage reservoirs and outfail sewer lines. The local distribution averse and sewage collection system will be installed by the local construction of the construction of th

The District's Service Plan, propered pursuant to Chapter 89, will cover the same reas at the District. Final ruline on the Service Flan by the Board of County Commassioners is expected prior to action by the Board on the within application. Formation of The Ren-Caryl Ranch Water & Sanitation District will be complete after the Board of County Communication in this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

1. Master Association

a. Organization.

Johns-Manuile will organize a non-profit corpo-ration or unincorporated association (Ne "Master Association") for questal ownership and adminia-tration of the recreation, open space and common areas. As various parts of the Hanch are platted such areas, other than those which are then dedi-cated to governmental bodies or to be conveyed for private ownership, which are included within such respective plat will be conveyed to the

Membership in the Master Association will be mandstory upon all landowners within the Ranch and will rum with ownership of the land. All members will be entitled to vote for the directors.

c. Duties, Powers and Authority.

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the spensal welfare and enjoyment of the owners and occupants of the Ken-Caryl Ranch. In implementation of the termination of the common of the common of the common of the common of the caryling in the common of the com The Master Association shall also have authority The Master Association shall also have authorized by assessments against specific local areas to be expended for the benefit of the properties os assessed. All assessments shall constitute liens which may be foreclosed if not paid when due. Its duties will also include enforcement or restrictive covenants application to the Ken-Caryl Ranch.

The Nester Association senses will seet annually for these action of discensor, who is turn will elect the officers. The officers and directors of the Nester Association will meet as requierly as necessary for orderly operation and administration. The Nester Association will prepare, promulate and enforce such rules and requisitions as are necessary to effect the purposes.

e. Architectural and Environmental Control Com-

As Architectural and Environmental Control Committee (hereinafter the Architectural Committee) will Interpretation with the board of directors. Its primary function will be to insure that all development is in full compliance with this Planned Development District Ioning Ordinance. and regulations as may be adopted from time to time by the Architectural Committee.

2. Sub-Associations

a. Organization.

Johns-Manville will organize non-profit corporations Johns-Manyllawil organism non-profit corporate or unincorporated associations (hereinefer the "Sub-Associations") for localized areas within the Ken-Camyl Ranch to further the specific needs, desires and intersets of the owners and occupants of such localized areas.

Mambership in the Sub-Associations will be mandatory upon all landowners within the affected eross and will run with the land. All members will be estitled to vote for the directors.

o. Deties, Powers and Authority.

Except as reserved to itself by the Master Association or the Architectural Committee, the duties, powers and authority of the Sub-Associations shall be as set forth below.

The primary purpose of each Sub-Associatios will be to own, operate and administer the recreation, open space and common areas within its specific area for the general velfare and enjoyment of the owners and occupants thereof. In implementation of this primary purpose, seat Sub-Association will have the power to own and operate and to sail, lesse and the power to own and operate and to sell, lesse and dedicate lends for all variety of recreations; uses consistent with the soning applicable to such lands. Each sub-hasociation will pay all operational expenses. Lacitoding any advalores races on the lands held in members to cover its supenses of operations. All assessments shall constitute liens which may be foreclosed if not paid when due. The Sub-Associations say delegate to the Kaster Association, with its approval, the right Association say also include senforcement of restrictive coverences applicable to its specific area.

Such Sub-Association will mean annually for election to the deficiency who in turn will sleet the Officers. The Officers and directors will meet as requisity as necessary for orderly operation and administration. Each Sub-Association will prepare, promulgate and sefor such rules and requisitions as are necessary to effect

E. Schools

In discussions with the Jefferson County R-I School District, it has been determined that the Ken-Caryl Ranch planned development and the surrounding planning areas will require a total of five elementary schools, one junior high school and one senior high school.

These asheol sizes are terretrively located on the proposal official Development Plan included with this filling. Figure time of filing for final plat approval any plat upon which willow located a school size, the size will be mutually agreed upon as to exact location between the developer and the District, and the developer will zearve and dedicate the size to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is an follower:

197 C.			
lementary School			ACTES
unior Rich School		20	ACTES
entor High School		35	ACEPS

P. Access

Interstate-470, as planned by the State Division of Richways, extends through the Ken-Caryl development in a morth-south direction generally parallel to the Datota Hochack. It is estimated that comstruction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chatfield Avenue westerly from ics existing terminus at South Carrison Streem to the property boundary. Off-wise right of way has not been acquired for this route, Other access routes shown on the Jefferson County master plan of highways are: South Simme Street counterly to a commention with Chatfield Avenue, Kea-Caryl Road westerly to an interchange with I-470, Kipling southerly to an interchange with I-470 kipling southerly to an interchange with I-470 and emisting Deer Creek and Turkey Creek Roads.

G. Pire Prevention and Protection

The property included in this PD application currently lies within two fire districts - Inter-Camyon Fire Frobaction District and Bancorf fire Protection District. Additionally, there are approximately 840 acres which are not currently within sither of these two districts. It is the intent of the developer to cooperate with both inter-Camyon and Sancroft in an attempt to astablish and maintain adequate fire prevention and protection measures.

The Official Development Plan contains abundant natural open areas, designated as C-O K/C, which areas serve as fire safety zones.

To ministre fire hazards during construction, the developer shall promptly dispose of all trash, brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadmides in a fire hazard-free condition.

The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirem of the appropriate fire districts.

At the time of filing any plat for final approval, the developer shall designate such essements as are necessary for public and private utility purposes, roads, state highways, pedestrian ways, hiking, bicycling, and equestrian paths and natural drainage and 108-year

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and regulations adopted pursuant thereto.

J. Restoration

It shall be the policy of the developer to practice restoration of the natural terrain, including the replacement and stabilization of topooli, revegetation, reforestation and blending of areas scarred by construction activity.

E. Building Codes

All structures to be built as part of the Ken-Caryl development will comform to the Jefferson County Building Codes them in effect.

Resping of Domestic Pets

Desentic Pets, for personal use, may be kept in all residential land-use classifications provided, however, the raising of desentic pets for commercial purposes le prohibited.

IV. CENERAL LOWING REGULATIONS

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be set, forth by the Committee or any 'Por Sala' or 'For Leese' signs not more than three feet by two feet ()' x 2'), of plais with with black block letters.

Horsel traffic and other county street signs, house numbers, name plates and other legal notices do not require Architectural Committee approval.

S. Pences and Wells, Paths and Walks

All feature and walls of any material must be approved by the Architectural Committee.

Faths and walks will be cometructed by the developer and indicated on each of the recorded plats. Comstruction of these paths and walks will very depending on the purposes for which they

C. Trask Disposal

Storing of refuse will be permitted only in esclosed containers, which containers shall be acressed from public view. Removal of refuse will be handled by one or more of the companies currently or hereafter franchised by the Coloredo Public Utilities Commission

No landing and take-off of helicopters or other quality sizes that be allowed on private or common property except at a specified location(s) and facility(se) within the N-C K/C, C-I K/C, I-J K/C and I-I K/C districts. If provided, such lactlity shall be subject to the approval of the Architectural Commanded and the applicable county, state and federal regulatory agencies.

Except in the SR-2 K/C rome, all utility lines distributing tel domastic service shell be located underground.

P. Boat, Camper and Trailer Storage

Storage of boats, compermy trailers, motor bicycles, andemables, or other similar recreation vehicles shall not be parmitted in the Planned Davelopeant District, except within an encourage or shed, or at such designated, visually processed locations aspecticed by the developer at the time of filing any plat for final approval.

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the manines set forth in Section 29, Definitions, of the Jefferson County Joning Resolution.

The term "Flag Lot" shall mean a lot shaped like a bulb and steen or a flag and flagpole, wherein the atom or pole portion of the lot fronts upon a public or private atreet. The minimum frontnee upon a public or private atreet shall be twenty (20) feet-the front yard shall began at, and the satback line shall be measured from, the end of the stem or pole farthest from the street.

A "Building Envelope" is defined as that area with a lor in which all dwellings, garages and accessory outbuildings sust

"Home Occupations" shall be all such as are approved by the Architectural Commuttee, and the definition thereof in Section 29 of the Jefferson County Joning Resolutions shall not apply.

S. Actual Location Determines Applicable Toning

In any case where a building or other structure is built or a use is sade which would be permitted in a sore restrictive some, the regulations which shall soply to such building, structure or use shall nevertheless be those which are applicable to the some district in which is fact such building or structure is built or such use is

V. SUBDIVISION STANDARDS

A. Street Classifications

The streets shown on the Official Development Plan arm designated as follows:

Right-Of-Way		Minimum Travelled W		
	100 feet	6 Lane	- Divided	
	100 feet		- Divided	
	80 feet		- Undivide	
	50 feet	2 Lane	- Undivided	

After construction, certain roads may be dedicated to Vefferson County for operation and maintenance. 5 Lane Divided, 4 Lane Divided, and 4 Lane Undivided roads located within the proposed PD District will be improved by the developer to Jefferson County Collector Road standards.
 Lane Undivided roads will be improved by the developer to their full improvement standards.

B. Jefferson County Subdivision Ordinance

On all rights-of-way dedicated to Jefferson County, the road specifications, cul-de-sac design standards, drainage, radii, etc. shall conform to Jefferson County subdivision ordinance standards.

Street lighting shall be included in all areas except the SR-2 K/C, SR-1 K/C and R-1 K/C rosses.

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

Prior to submission to the Board of Adjustment of may mether governed or meant to be governed within the Kem-Caryl Ranch Planned Development District, such matters thail first be reviewed and approved by the Architectural Committee.

All restrictions and conditions of this Plan shell conform to the Jefferson County Zoning Resolution, Subdivision Requilations, engineering specifications and all other applicable doubty requirements in force and effective as of October 24, 1972 except as expressly stated herein.

The Rem-Caryl Ranch Planned Davelopment District shall be subject to the filing from time to time of approved incremental subdivision plats and to the recording of an approved Official Davelopment Plan.



THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24,1972 | SHEET 4 OF 10

III- DUTLINE OF PROPOSED KEN-CARYL RANCH PLANNED DEVELOPMENT DISTRICT

A. Purpose and Inten

This application for a Planned Development District, which encompasses most of the Ken-Caryl Ranch in deference County, Colorado, is the result of the Marine of extensive and deliberate analysis, and the state of the colorado, and the colorado and the colorado

The evaluation and analysis efforts of this planning group were initially directed toward the development of (1) a documentation and understanding of the presently existing character and (2) an investigation and analysis of the existing and future meeds and pressures for economic development in both the local area surrounding the manor and in Jefferson County's as whole. Considerable attention was also given to Jefferson County's assessment of the desired direction that the property of development for the County's as set out in the County's

on the basis of the above studies of the existing uses and forecasted davelopment trands, the efforts of the planning group were then directed coward the development of a land-use plan for the Banch which would most fully serve the future needs of the County while causing a minisom disruption of existing land uses in the area.

The application represents the results of the planning group's efforts to active the above-taxed quals. The development of the plan (for the Ranch presented a unique challence for the planning group because of the variety of geological conditions, environmental resources, and points of historical importance on the Ranch. In order to meet the challence of preserving and maximizing the benefits of these values, the planning group was required to create development concepts for the Ranch which while maintaining an internal continuity of design and fulfilling all of the requirements of the County Master Plan, are not specifically provided for within the soning resolutions or suddivision

1. Planned Development Statistics

The Jefferson County Comprehensive Puture Land Use Plan [1967] and the Jefferson County Puture Land Use Plan - Hountain Area [1972] designate a cotal mexims population for the lands included within the proposed PD district of 22191 or, translated to deelling units, 6489 units.

Rowever, Johns-Manwills agrees to limit the total number of dealing units within the proposed PO district to a total of 5500 units, or an average density of .50 dwelling units per acre. The residential population at the end of the approximate 20-year development life of the project, based on the 5500 unit limitation, is estimated to be

Prior to the time of final platting, it is difficult to determine the precise mix between dwelling unit types. Therefore, a total of 5.559 dwelling units is indicated on the proposed Official Development Plan. The following table summarises the lead uses, acresces, and dwelling units as shown on the proposed

	7		
Land Use	Letter Designation	Net Acreage	Total Units
Eignlands Residential	SR-2 K/C	650	52
Ranch Residential	SR-1 K/C	454	122
Estate Residential	R-1 K/C	442	759
Detached Residential	R-LB K/C	108	411
Patio Residential	R-2 K/C	374	2442
Condominium Residential	R-3 K/C	98	1464
Apartment Residential	R-4 K/C	55	1400
Neighborhood Commercial	R-C K/C	41,	
Regional Commercial	C-1 K/C		
Planned Industrial	1-3 K/C	257	* 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1
Business Park	I-1 K/C	277	
Recreation and Open Space	C-0 K/C	5691	
Schools and Parks		140	
Roade		264	
TOTALS		9139	6650

C. Water and Sanitation Services

In the highlands area, which constitutes approximately 850 acres of the Ken-Caryl Ranch and includes a total of 52 percels, water and sentration facilities will be (unmissed respectively by wells and applicable and constructed in atrict compliance with all applicable scate and county statume, ordinances, rules, and requisitions.

A special district, The Kan-Caryl Ranch Nater a Semitation District, will be organized under Chapter 39 of the Colorado Navised Statues over the lands covered by this application exclusive of the aforesaid Hichlands area. Sepotiations are under very with the Democratery about for the sale and delivery of water by the City and County of Onnews to the District. Necessate the County of Conver to the District. Necessate the County of Conver to the District. Necessate the County of Section 19 of the City and County of Conver to the District. Association of District for John twee by the District of Countwest's existing outfall associate which was a section of the City of Littleton. Negotiations are under very with the City of Littleton for the treatment of such servers.

to the control of the

The District's Service Plan, prepared pursuant to Chapter 89, will cower the same area as the District. Plan's ruling on the Service Plan by the Moard of County Commissioners is expected Prior to action by the Moard on the within application. Formation of the Ken-Caryl Manch Water a Sanitation District will be completed after the Moard of County Commissioners rules on this application.

D. Administration of Recreation and Open Space and Enforcement of Restrictions

4. Organization.

Johns-Manwille will organize a non-profit corporation or unincorporated association (Ne "Mastor Association") for ownersh ownership and admininate of the state of the cate of the state of the state of the state of the for private ownership, which are included within each respective plat will be conveyed to the Master Association.

b. Hembershin.

Membership in the Master Association will be mandatory upon all landowners within the Ranch and will rum with ownership of the land. All memores will be natited to vote for the directors.

c. Duties, Presert and Authority.

The primary purpose of the Master Association will be to own, operate and administer the recreation, open space and common areas for the general open space and common areas for the general of the Ken-Caryl Ranch. In implementation of this primary purpose, the Master Association will have power to own and operato, and to sell, lease, and dedicate lands for all variety of recreational uses consistent with the zoning application to such lands. The Master Association will pay all operational expenses and in the application to such lands. The Master Association will pay all operational expenses and in the same, and will law quitable assessment upon the members to cower its expenses of operation. The Master Association shall also have authority to levy assessments against specific local aceas to be expended for the benefit of the properties so assessed. All assessments shall constitute lions which may be foreclosed if not paid when of caryl Banch and the common of the Kenton of

. Rules

The Master Association members will meet annually for the election of directors, who in turn will for the sleet annually for the state of the Master Association will meet as requisity as necessary for orderly operation and administration. The Master Association will prepare, promulgate and enforce such rules and requisitions as are necessary to affect its purposes.

e. Architectural and Environmental Control Committee.

An Architectural and Environmental Control Committee (Nestmanter the Architectural Committee) will be appointed by the board of directors. Its primary (nurtion will be to insure that all development is in full compliance with this planned becomen the introl training the planned Development District Toming Ordinance, applicable restrictive commants, and such rules the business of the committee o

2. Sub-Associations

a. Organization.

Johns-Manyilawill organise non-profit corporations or unincorporated associations insensinfeer the "Sub-Associations" for localized greas within the Fem-Carryl Ranch to Cuther the aspocific needs, desires and interests of the owners and occupants of such localized areas,

. Nembership.

Membership in the Sub-Associations will be sandstory upon all landowners within the affected areas and will run with the land. All members will be entitled to vote for the directors.

. Duties, Powers and Authority.

Except as reserved to itself by the Master Association or the Architectural Committee, the duties, powers and authority of the Sub-Associations shall be as set forth below.

The primary purpose of each Sub-Association will be to own, operate and subminister the recreation, open space and comment areas within its specific area for the general welfare and enjoyment of the control of the specific area for the general welfare and enjoyment of the primary purpose, each Sub-Association will have the power to own and operate and to smil, lease and dedicate leads for all variety of recreational uses commistent with the roming applicable to such lands. Each Sub-Association will pay all operational species. Each Sub-Association will pay all operational expenses. It is name, and will low equitable assessments upon its members to cover its expenses of operation. All sassessments expenses if not paid when they implement the proposal in the same paid of the pay of the same payments of the same payments of control the same payments. The districtive coverants applicable to its specific area.

. Rules

Each Sub-Association will meet annually for election of the hirectors, who in turn will elect the officers. The officers and directors will meet as requisity as necessary for occenty operation and administration. Reach Sub-Association will propers, promulates and enforce such rules and requisitions as any necessary to effect its purposes.

Schools

In discussions with the Jefferson County R-1 School District, it has been determined that the Ken-Caryl Panch planned development and the surrounding planning areas will require a total in five elementary schools, one junior high school, and one senior high school and

These chical sites are tentatively located on the proposed official overlopment Plan included with this filling. First to the time of filling for final plat approval any plat upon which will be located a school site, the site will be mutually acreed upon 4% to exact location between the developer and the District, and the developer unil reserve and dedicate the site to the District.

The average number of acres included with the school sites designated on the proposed Official Development Plan is as follows:

ementary School 17 acr mior High School 20 acr mior High School 35 acr

Access

Interstate-470, as planned by the State Division of Mighways, extends through the Ken-Caryl development in a north-south direction generally parallel to the Dakots Miophack. It is estimated that construction will be completed on I-470 by 1978.

Initially the principal means of access will be an extension of Chatfield Avenus westerly from its existing terminus at South Carrison Street to the property boundary. Off-site right of way has not been acquired for this route. Other access routes snown on the Jefferson County meater plan of highways are: South Simma Street southerly to a commection with Chatfield Avenue, Ken-Caryl Road westerly to an interchange with I-470, kipling southerly to an interchange with I-470 and existing Deer Creek and Turkey Creek Roads.

G. Fire Prevention and Protection

The property included in this FD application currently lies within two (ire districts - Inter-Canyon Fire Protection District and Bancroft Fire Protection District. Additionally, there are approximately 840 acres which are not currently within either of these two districts. It is the intent of the developer to cooperate with both Inter-Canyon and Sancroft in an attempt to establish and maintain adequate (ire prevention and protection seasures.

The Official Development Plan contains abundant natural open areas, designated as C-O K/C, which areas serve as fire safety tones.

To minimize fire hazards during construction, the developer shall promptly dispose of all trash, brush, fallen timber and other debris associated with construction activity and otherwise maintain all roadsides in a fire hazard-free condition.

The water system, referred to in Section III C, will include the installation of fire hydrants in accordance with the requirements of the appropriate fire districts.

H. Easements

At the time of filing any plat for final approval, the developer shall designate such casements as are necessary for public and private utility purposes, roads, itate highways, pedestrian ways, hiking, bkcycling, and equestrian paths and natural drainage and 100-year flood ways.

I. Pollution Control

The developer will comply at all times with all applicable Federal and State statutes and County resolutions with respect to pollution control, and with all rules and requiations adopted pursuant thereto.

J. Restoration

It shall be the policy of the developer to practice restoration of the natural terrain, including the replacement and stabilization of topsoil, revegetation, reforestation and blending of areas scarred by construction activity.

K. Building Codes

All structures to be built as part of the Ken-Caryl development will conform to the Jefferson County Suilding Codes then in effect.

L. Resping of Domestic Pets

Domestic Pets, for personal use, may be kept in all residential land-use classifications provided. Nowever, the raising of domestic pets for commercial purposes is prohibited.

IV. GENERAL SONING REGULATIONS

L. Signe

No signs of any kind shall be displayed to the public view without the approval of the Architectural Committee, except such signs as may be set forth by the Committee or any "For Saie" or "Tor Jease" signs not more than three feat by two lest (3' x 2'), of plain within with black block lecture.

Normal traffic and other county street signs, house numbers, name plates and other legal notices do not require Architectural Committee Approval.

B. Fences and Walls, Paths and Walks

All fences and walls of any material must be approved by the Architectural Committee.

Paths and waiks will be constructed by the developer and indicated on each of the recorded plats. Construction of these paths and walks will vary depending on the purposes for which they are intended.

C. Trash Disposal

Storing of refuse will be parmitted only in enclosed containers, which containers shall be acressed from public view. Removal of refuse will be analised by one or more of the companies currently or hereafter franchised by the Colorado Public Utilities Commission

Heiiports

We landing and takenoff of helicopters of other statior stream, the state of common property records at specified location, and covered on prevene or common property records at a specified location for a state of the state of

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2. Utilities

Except in the SR-2 K/C zone, all utility lines distributing normal domestic service shall be located underground.

F. Boat, Camper and Trailer Storage

Storage of boats, campers, trailers, motor hitystes, snowmibles, or other visilar recreation whicles shall not be permitted in the Planned Cavelopement District, exceptions on enclosed marage or shed, or as your destonated, visually provided locations, as specified by the developer at the time of filing any plat for final

G. Definitions

Except where otherwise provided herein and except where the context otherwise requires, the terms used in this Planned Development District shall have the meanings as forth in Section 29, Definitions, of the Jefferson County Inning Resolution.

The term "Flag Lot" shell sean a lot shaped like a builb and sen or a flag and flampoin, wherein the stee or pole cortion of the lot fronts upon a public or private stee or pole cortion of frontsee upon a public or pole for the front year shell be reenty (10) feet. The front year shell be steed to you be farthest from the street.

A "Building Envelope" is defined as that area with a lot in which all dwellings, garages and accessory outbuildings must

"Home Occupations" shall be all such as are approved by the Architectural Commuttee, and the definition thereof in Section 23 of the Jefferson County Zoning Resolutions shall not apply.

H. Actual Location Determines Applicable Zoning

In any case where a building or other structure is built or a use is made which would be permitted in a more restrictive some, the regulations which shall apply to such building, attructure or use shall nevertheless be those which may applicable to the none district in which in fact such building or structures as built or such use is

V. SUBDIVISION STANDARDS

A. Street Classifications

 The streets shown on the Official Development Plan are designated as follows:

Right-Of-Way			 Kinimum Travelled Widt		
	100	feet	6 Lane - Oivided		
	100	feet	4 Lane - Divided		
	80	feet	4 Lane - Undivided		
	50	feet	2 Lane - Undivided		
		التخائلين	 		

 After construction, certain roads may be dedicated to Jefferson County for operation and maintenance. 5 Lane Davided, Liane Jointed, and 4 Lane Undivided roads located within the proposed PD District Will be improved by the developer to left ferson County Collector Road standards. I Lake Undied Council Lill as Improved by the developer to their full improvement standards.

B. Jefferson County Subdivision Ordinance

On all rights-of-way dedicated to Jefferson County, the road specifications; oul-de-sac design standards, drainage, radii, etc. shall conform to Jefferson Country subdivision ordinance standards.

C. Street Lighting

Street lighting shall be included in all areas except the SR-2 K/C. SR-1 K/C and R-1 K/C romes.

D. I-470 Right-of-Way

Right-of-way for I-470 in conformance with the State of Colorado Division of Highways specifications is being reserved by the developer.

VI. PLAN AMENDMENT

Prior to submission to the Board of Adjustment of any matter governed or meant to be governed within the Kan-tary! Ranch Planned Development District. such matters shall first be reviewed and approved by the Architectural Committee.

VII. GENERAL RESTRICTION

All restrictions and conditions of this Plan shall conform to the Jefferson County Zoning Resolution, Subdivision Resulations, engineering specifications and all other applicable county resultsments in force and effective as of October 18, 1972 except as expressly stated herein.

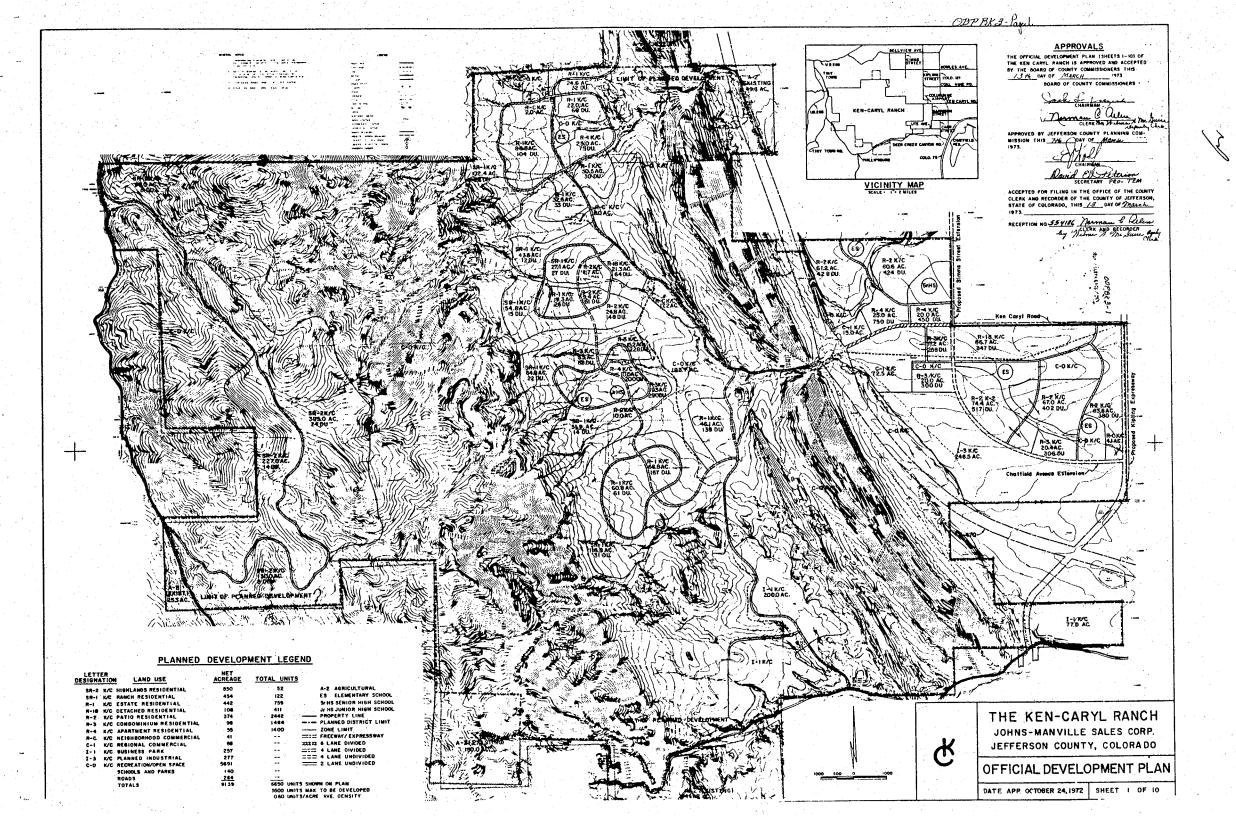
The Ken-Caryl Ranch Planned Development District shall be subject to the filling from time to time of approved incremental subdivision plats and to the recording of an approved Official Development Plan.

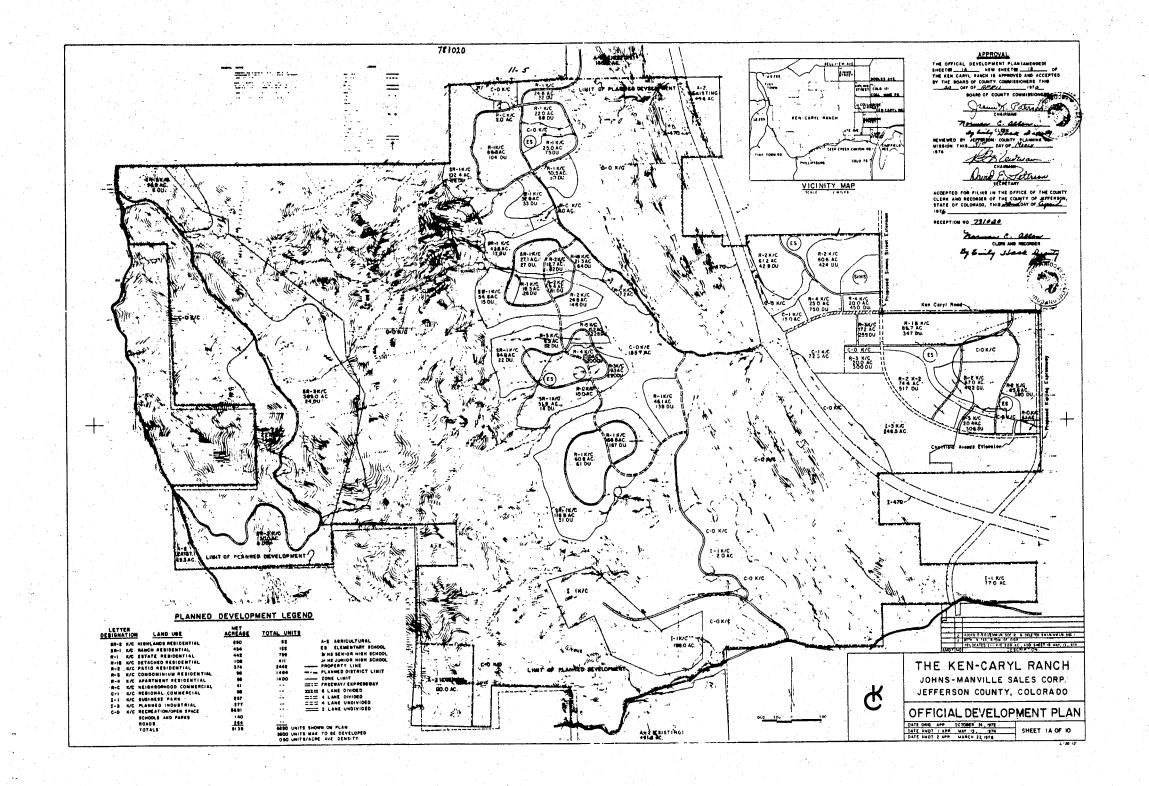


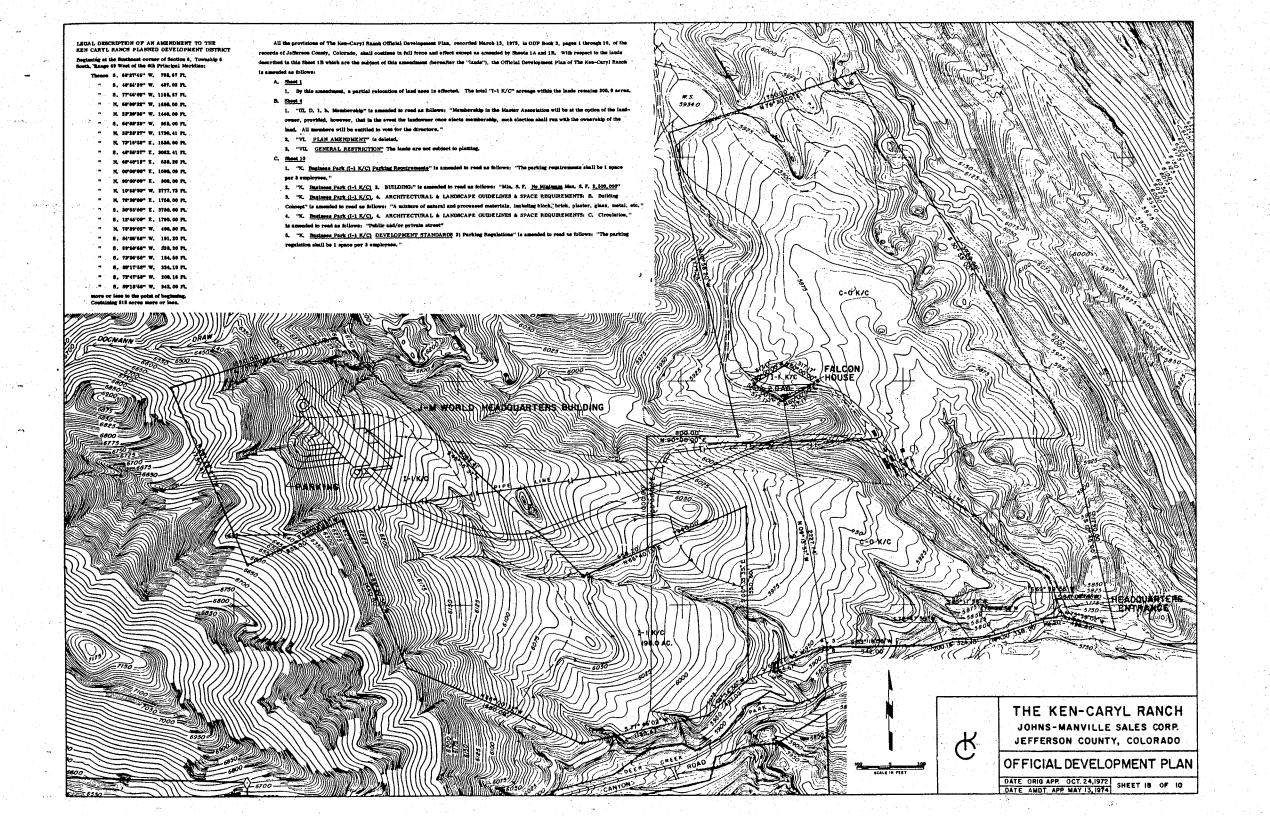
THE KEN-CARYL RANCH
JOHNS-MANVILLE SALES CORP.
JEFFERSON COUNTY, COLORADO

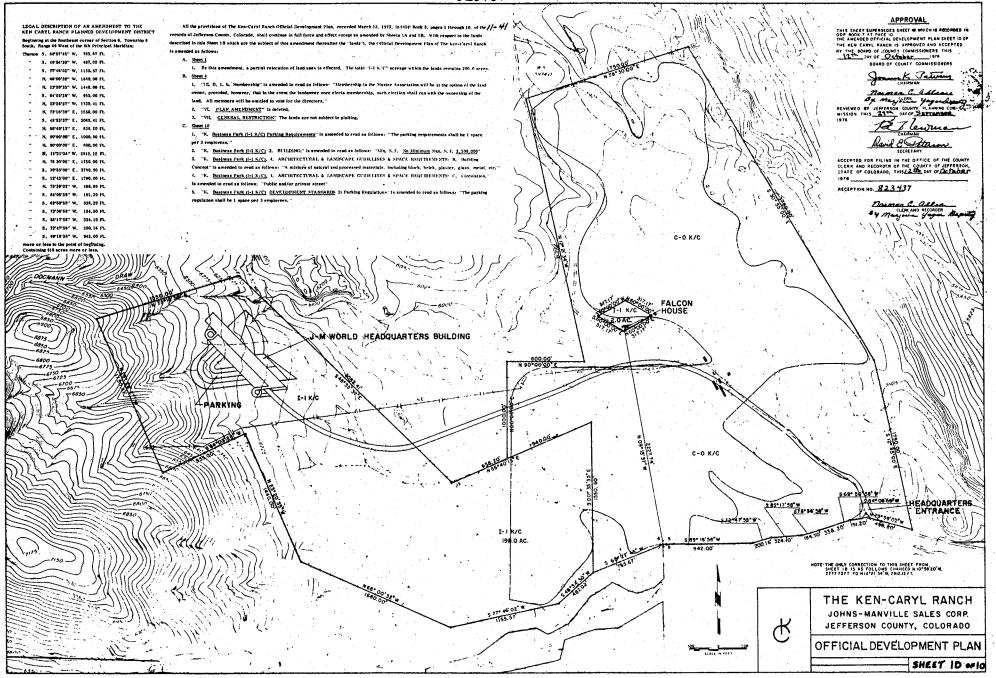
OFFICIAL DEVELOPMENT PLAN

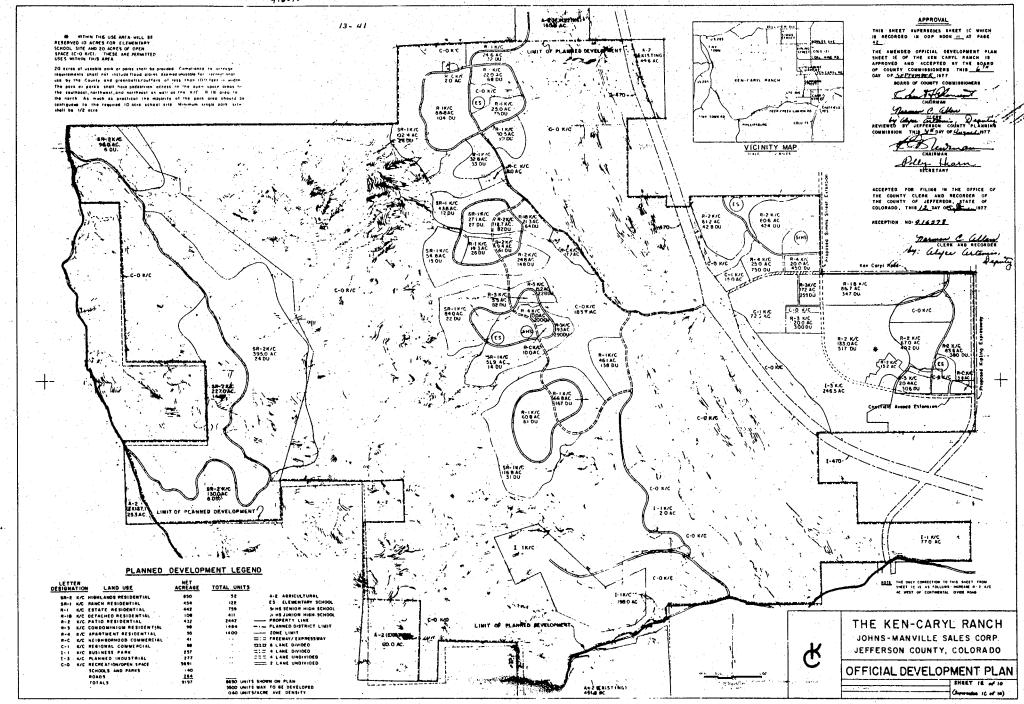
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\$9-46-19" West along the South line of the North half of the

THE REN-CAPTL MARCH PLANNED DEVELOPMENT DISTRICT

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PLANSED DEVELOPMENT DISTRICT

Seginaing at the Southeast corner of Section 33, Termship 5 Hough, Range 69 West of the 6th P.M.; thence Horth 66"32'16" East alone the East line of Section 13 a distance of 5280.65 feet, more or less, to the Mortheast corner of said Section 33; thence North 89"25"05" Went along the North line of said Section 13 a distance of 2665.98 feet, more or less, to the North quarter corner of said Section 33; thence Worth 89°47°56 Most along the Morth line of said Section 13 a distance of 2643.45 feet, more or less to the Morthwest corner of easier of Section 29, said Tornship and Range, a distance of 2627.76 feet, more or less, to the Sant quarter corner of said Portion

Thomso Morth 09"26"53" West along the East-West conterline of said Section 29, a distance of 2678.26 feet, more or less, - the center of said Section 75; those North 19°36'51' West alone the East-West empter line of said Section 29 a distance of 1000.32 feet; thomas South 06"07"00" Heat a distance of 350,00 Soot; thomas Horth 99"45"36" West a distance of 791.90 fact, thomas North 66"87"66" West a distance of 198.66 feet, norm or loss, to the thee courter corner of said feeting 10: thouse Morth 99"22"18" Meet along the Sast-West conterline of Section 10, said Yersehip and Ronge, a distance of 1330.70

of the Mortheast quarter of Section 18, said Township and Bange: thence Morth 60"34"13" Rest slong the West line of the East helf of the Mortheast quarter of said Section 10 a distance of 2579,35 feet, more or less, to the Morthwest corner of the East helf of the Mortheast quarter of said Section 10: Theses North 89751'19" East alone the North line of said Section 30 a distance of \$60.00 feet; thence North 15"56"41" Nest a distance of 2780.00 feet, more or less, to the East-Hest centerline of Section 19, said Township and Rance; theses Morti 89°35'19" West a distance of 1340.00 feet, more or less, to the center of said Section 19; thence North 89°61'00" West along the Rast-West centerline of said Section 19 a distance of 2551.64 feet, more or less, to the West quarter corner of said Section 19; thence South 60'08'19" West along the East-West centerline of Section 24, Township 5 South, Rease 70 Hest, a distance of 1960.16 feet, more or less, to the Hortheast corner of the West half of the Southwest querter of Section 26, Township 5 South, Range 70 West; thence South 01°10'59" Ment a distance of 2579.09 feet, more or less, to the downless corner of the West half of the Southwest quarter of said Section 24: theses South 89"45"54" West along the South line of said Section 24 a distance of 1315.10 feet, more or less, to the Morthweek corner of Section 25, said Township and Rames; theno South 89"65"54" West along the North line of Section 26, and Township and Hange, a distance of 5492.37 feet, more or less, to the Morthwest corner of Section 76, said Township and Range thence South 89"49'56" West alone the North line of Section 27, said Township and Range, a distance of 2743,42 feet, more or less, to the North quarter corner of Section 27, said Township and Range: thence South 89"41"48" West along the North line of maid Section 27 a distance of 1499.45 feet, more or less, to the Easterly right-of-way line of Turkey Creek State Minhwa No. 124: thence Southerly along the Easterly right-of-way line of Turkey Creek State Highway No. 124 a distance of 2665.38 feet, more or less, to the East-West centerline of said Section 27: thence South \$8*55'00" East along the centerline of said Section 27 a distance of 1265.54 feet, more or less, to the center of said Section 27; thence South 01°22'44" Bast alone the Morth-South centerline of said Section 27 a distance o 3530.47 feet, mrs or less, to the South quarter corner of said Section 27: thence South 01*46'23" East alone the North-South centerline of Section 14, said Township and Range, distance of 2778.30 feet, more or less, to the center of Section 18. said Toroship and Range: thence Marth 87747'18' Part alone the East-West centerline of said Section 36 a distance of 2602.01 feet, more or less, to the West quarter corner of Section 35, said Township and Rames: thence South 02°01'25" East along the West line of said Section 15 a distance of 2648.39 feet. more or less, to the Southwest corner of said Section 35: thence Morth 88°19'14" West along the North line of Section 3. Township 6 South, Range 70 West, a distance of 2799,60 feet, more or less, to the Morth quarter corner of Section 3, Township & South, Range 78 West; thence South 02°28'01" Rest slong the Herth-South centerline of said Section 3 to the Easterly right of-way lime of Deer Creek Road, Colorado State Highway No. 124: though Southeasterly along the Easterly right-of-way line of Deer Creek Bood, Colorado State Bishway No. 126, to its intersection with the East-Meet conterline of said Section 3; themce South 99"27"55" Rest along the East-Hest conterline of said Section) a distance of 1666.99 feet, more or less. to the East marter corner of said Service 1: these Morth 99"01'00" East slowe the East-Mast conterline of Section 7. eaté Township and Ranco, a distance of 2598.41 feet, more or less, to the center of Section 2, said Township and Range; though Marth 65" 44'47" Most along the Marth-South centerline

to the Southwest corner of the Morth half of the Morthage

marter of said Section 2: thence South \$6"48"51" East a distance of 2741.02 feet, more or less, to the Southeast corner of the Borth helf of the Bortheast quarter of said Section 2: thence East along the North line of the Southwest one-quarter Range 70 West, a distance of 1320.00 feet, more or less, to the Mortheast corner of said Southwest one-quarter of the Morthwest one-quarter; thence South along the East line of said Southwest one-quarter of the Northwest one-quarter a distance of 1320.00 feet, sore or less, to the Southeast corner of said Southwest one-quarter of the Northwest onequarter; thence West along the South line of said Southwest one-quarter of the Morthwest one-quarter a distance of 1320.00 feet, more or less, to the West quarter corner of said Section l; thence South 00°21'37" West slong the West line of said Section 1 a distance of 2615.93 feet, more or less, to the Southwest corner of said Section 1: thence South 87*57'35" East along the South line of said Section & a distance of 1978.90 feet, more or less, to the Morthwest corner of the Test opening of the first company of the dorrhead comquarter of Section 12, Township & South, Range 70 West; thence South along the West line of said East one-half of the East one-half of the Morthwest one-quarter a distance of 2640.00 feet, more or less, to the Southwest corner of said East onehalf of the East one-half of the Horthwest one-quarter; thence one-half of the Northwest one-quarter a distance of 660.00 feet, more or less, to the Southeast corner of said Rest one-Morth along the East line of said East one-half of the East one-half of the Horthwest one-quarter a distance of 1320.00 feet, more or less, to the Southwest corner of the North half of the Mortheast quarter of said Section 12: half of the Northeast quarter of said Section 12, a distance of 2570.64 feet, more or less, to the Southeast corner of the North helf of the Mortheast quarter of said Section 17: thence South 00"30'28" Best along the West line of Section 7, Township 6 South, Range 69 West, to its Entersection with the North right-of-way line of Deer Creek Road, Colorado State Highway No. 124;

Thence Easterly and Mortheasterly along the Mortherly rightof-way line of said Deer Creek Road, Colorado State Mighway No. 124, to its intersection with the Mortherly line of Deer Creek Park: thence Mortheasterly slone the Morthwesterly line of Deer Creek Park to its intersection with the East line of said Section 7: themes Morth 00"40"43" West a distance of 366.1 feat, more or less, to the Mortheast corner of said Section 7; themos South 89°39'42" Meet along the North line of Section S. said Tornahio and Rance, a distance of \$42.00 feet, norw or less, to its intersection with the Mortherly line of Deer Creek Park: thence Sesterly slong the Mortherly and Mortheasterly line of Deer Creek Park to its intersection with the Mortherly right-of-way line of Deer Creek Road, Colorado State Highway No. 124: thence Southeasterly along the Northeasterly rightof-way line of Deer Creek Road, Colorado State Hickory No. 174, to its intersection with the South line of Section 5. said Township and Range; thence South 98"36'02" West along the South line of said Section 5 to its intersection with the Morthwesterly right-of-way line of Deer Creek Road, Colorado State Highway No. 124; thence Mortheasterly along the Morthwesterly right-of-way line of Deer Creek Road, Colorado State Michrey Mo. 124, to its intersection with the East line of said Section 5; thence Worth 05°33'34" West along the East line of said Section 5 to the Southwest corner of the North helf of the South half of Section 4, said Township and Range: thence Worth

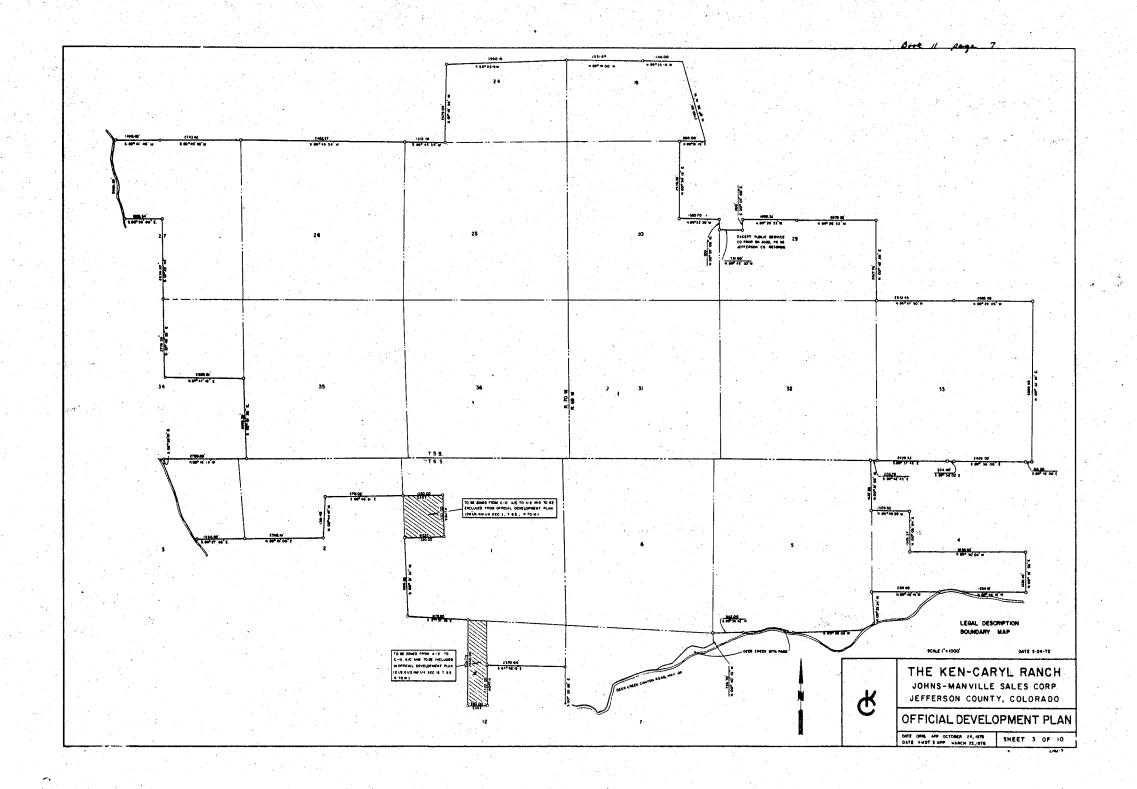
south half of said Section 4 a distance of 2315.48 feet, more or less, to its intersection with the Mortherly right-of-way line of Oper Creek Road, Coloredo State Highway No. 126: thesos Leaterly alone the Bortherly right-of-way line of Deer Creek hoad, Colorado State Highway No. 174, to its intersection with the South line of the Worth half of the South helf of said Section 4: those Horth 19"46"19" West along the South line of the North half of the South helf of said Section 4 a distance of 1834.19 feet, more or less, to the Southeast corner of the North helf of the South half of said Section 4: Thence North 00"12"56" East along the Sast lime of said Section 4 a distance of 1312.10 feet, more or less, to the Mortheast corner of the North half of the South helf of eaid Section 4; thence Worth 89"50"04" West along the East-West conterline of said Section 4 a distance of 1918.62 feet, more or less, to the Southeast corner of the Southwest quarter of the Northwest quarter of said Section 4: thence Borth 90*05'04" East a distance of 1345, 37 feet, more or less, to the Mortheast corner of the Southwest quarter of the Morthwest quarter of said Section 4; thence Morth 89"48"28" West a distance of 1305.62 feet, more or less, to the Northwest corner of the Southwest quarter of the Morthwest quarter of said Section 4: thence North 00°21'08' West a distance of 1637.85 feet, more or less, to the Morthwest corner of said Section 4: thence South 89"42"45" East a distance of 201.70 feet, more of less, along the South line of Section 12. Township 5 South, Range 49 West, to the Southwest corner of Section 33, said Township and Range: Thence South 89"37"45" East along the South line of said Section 13 a distance of 2429.43 feet, more or less, to the North quarter corner of Section 4, Township 6 South, Range 69 West; thence South 89"36'00" East along the South line of Section 33, Township 5 South, Range 69 West, a distance of 204.46 feet, more or less, to the South quarter corner of said Section 33; thence South 89"36'00" East along the South line of baid Section 33, a distance of 2429.02 feet, more or less, to the Horthmant corner of Section 4, Township 6 South, Range 69 Hest; thence South 89°18'80" East along the South line of Section 13, Tornship 5 South, Rasse 69 Most, a distance of 211.18 feet, sore or less, to the Southeast corner of said Section 13, the point

THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE DRIE. APP. OCTOBER 24, 872 DATE AMET 2 APP. MARCH 22, 1976

SHEET 2 OF 10



VIII. IONING RESOLUTION -LAND USE CLASSIFICATIONS AND RESTRICTIONS

A. Highlands Residential (SR-2 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter exected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- One-family dwelling, detached, and accessory outbuildings, including guest-houses and stables.
- 2. Church or parish house.
- Public, parochial and private schools (but not including private vocational, trade or professional schools or schools for subnormal or mentally disturbed adults or children, preschools and day nurseries for infants and children.
- Public and private libraries; public and private museums; community facilities.
- Public parks, playgrounds, and other public or private recreational uses.
- Governmental buildings; fire stations; but not including warehouses or storage or repair facilities.
- Telephone exchanges; electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities
- Mater supply reservoirs, wells, water towers, filter beds, and irrigation canals.
- Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:

 - b. Temporary buildings and uses of land for any purpose or use which is incidental to the development of the
 - Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires

Area Regulations

- Arms and Minimum Midth of Lot: For every dwelling or other main building exected or attructurelly altered, there shall be provided a minimum lot area of not less than two (2) acres. The minimum width of such lot area shall be one hundred twenty-five (125) feet measured along a public attreet or at the satback line from such public street, whichever is greater; provided however; in the case of flag lots a minimum width of twenty (20) feet on the stem or pole will be allowed.
- <u>Building Envelopes</u> In addition to setback requirements, each lot within the Highlands Residential zone will contain a designated building envelope within which the obwelling and accessory buildings must be placed, unless the prior written approval of the Architectural Committee for the erection of all or a part of such dwellings and outside of the building envelope has been obtained.
 - Front Yard Minisum depth of front yard to building envelope shall be thirty (30) feet.
 Side Yard Minisum width of side yard to building envelope shall be twenty (20) feet.
 Hinisum depth of rear yard to building

envelope shall be fifty (50) feet. Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

One horse may be kept on each lot of a minimum size of two s, and one additional horse may be kept for each additional

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Highlands Residential (27-2 F/C) S.F.: 67.120 (2 acres) minimum Min. S.F. 1996 Max. S.F. 15,679 2. BUILDING: Hin. S.P. 400 Max. S.P. 1,500 3. PARKING Min. S.F. ____ 0 % of Total ___ 0 Min. S.F. 400 % of Total 100 Min. S.F. ___ 0 % of Total__ SPACE REQUIREMENTS

Α.	Site Plan Concept:	Detached dwcllings	
	Bldg. Type Related to Land Use:	Single family residential	
	Structural Design:	Wood or metal frame, block or	brick_
В.	Site Drainage Concept:	Surface drainage	
	Landscape Concept:	Natural	
	Building Concept:	Mixture of natural materials, and plaster: carth tones	block, br
c.	Site Planning Concept:	Residential subdivision	
		Local Road (50° R.O.W.)	 .
	Circulations	Public and/or Private streets	

DEVELOPMENT STANDARDS

L)	Height	Limit		30	Haxin

2) Area Regulations

2 acres (minimum) Lot Size Front Yard Side Yard Rear Yard

Parking Regulations 2 cars (enclosed) minimum

50' / Envelope

125

SITE PLAN

20

Highlands Residential (SR-2 K/C)

PLAG LOT DESCRIPTION (no scale)

ELEVATION (no scale)

mines a least at the con-

The Berry 1: 1058

To sell sing or table shall be used and no ballding shall be sometiment of providing sometimes or structurally altered, unless structurally provided beforeing except, for one unless of the following

Any use permitted in the Highlands Josephential (SF-2 K/C) District.

Height Regulation:

To building shall exceed thirty (10) feet in beight. However, the hought limits estudiashed Bêrein Law be relaxed by the Armainequal Committee for chimneys, water towers, radio and television antennas, menuments, spires and flag-poles.

Area Regulations

- Area and Minitum Width of Loty For every deetling or officer many builting evected or structurally altered, there may be a left of the structurally altered, there shall be provided a manisum to area of not less than one (1) acre. The sinimum width of such lot area shall be one humined eventy-five (125) feet for each shelling or other main building where width of lot in all cases is measured along a public street of a feetback line from such public street, whichever is greater; provided however, in the case of flag lots a minimum width of twenty (20) fret on the stew or poin will be allowed.
- Building Envelope: In addition to setback requirements, cach lot within the Banch Besidential zone will contain a designated building envelope within which the fawelling and accessory buildings must be placed, unless the prior written approval of the Architectural temperate the world of the containing the provided t

 - Front Yard Minisum dippth of front Yard to building outvilope shall be thirty (10) foct.

 Side Yard Minisum width of side Yard, to building onvelope shall be twenty (20) feet.

 Minisum depth of rear yard to building envelope shall be futnity (10) feet.

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

1

One horse may be kept on each lot of a minimum size of two acres, and one additional horse may be kept for each additional one acre, up to a maximum of four horses.

KEN-CARYL RANCH

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Ranch Residential (SR-1 K/C)

S.F.: 43,560 (1 acre) minimum Hin. S.P. 1000 Hax. S.P. 12,000 Min. S.P. 400 Hax. S.P. 1,500 3. PARKING 0 % of Total

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS: Detached dwellings A. Site Plan Concept: Bldg. Type Related to Single family residential. Wood or metal frame, block or brick Structural Design: Surface drainage 8. Site Drainage Concept: Mixture of natural materials, block, brick and planter; earth tones Landscape Concept Building Concept: C. Site Planning Concept: Residential subdivision Street Width & Parking: Local Road (50' R.O.W.) Public streets Circulation Ranch Residential (SR-1 K/C) DEVELOPMENT STANDARDS

Min. S.F. 400 % of Total____

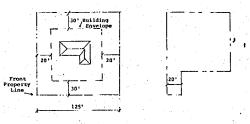
Min. S.F. 0 % of Total_

Underground

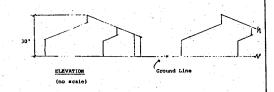
105 Mayinum

1) Height Limit 2) Area Regulations

- A. Lot Size
 B. Front Yard
 C. Side Yard
 D. Rear Yard
- 2 cars (enclosed) minimum 3) Parking Regulations



SITE PLAN (no scale) PLAG LOT DESCRIPTION (no scale)



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THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

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DATE APP OCTOBER 24, 1972 | SHEET 5 OF 10

C. Estate Residential (R-1 R/C)

No building or land shall be used and no building shall be here-after eracted,converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- 1. One-family dwelling, detected.
- 2. Church or parish house.
- Public, parochial and private schools (but not including private vocational, trade or professional schools or schools for subnormal or sentially disturbed adults or children), preschools and day nurseries for infants and
- 4. Public and private libraries; public and private museums;
- Public parks, playgrounds, and other public or private recreational uses.
- Governmental buildings; fire stations, but not including warehouses or storage or repair facilities.
- Telephone exchanges, electric substations, including electric transmission and distribution lines, and gas regulator stations where no repair or storage facilities
- Water supply reservoirs, wells, water towers, and filter beds.
- Special Uses. The following uses shall be permitted only upon approval of the Architectural Committee:
- Temporary buildings and uses of land for any purpose or use which is incidental to the development of the property:
- Temporary buildings and uses incidental or necessary for the sale or rental of real property.

Height Regulations

 No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires and flag-poles.

- Area and Minimum Midth of Lot: For every dwelling or other main building exected or structurally a latered, there shall be provided a minimum lot area of not less than twelve thousand five hundred (12,500) square feet. The minimum Width of such lot area shall be one hundred (10) feet measured along a public street or at the setback line from such public street, whichever is greater.
- Front Yard: The sinisms depth of front yard for dwellings and other main-buildings shall be twenty (20) feet when the front yard is adjacent to a local or collector street. The minimum depth of front yard for dwellings and other main buildings shall be thirty (30) feet when the front yard is adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughtare Plan. The sinisms depth of front yard for lots that front oxclusively on the bulb of a cul-de-sac shall be ten (10) feet.

In all cases where the front yard setbest is proposed to be less than 16.5 feet. 'direct access driveways will not be permitted. 'Direct access' driveways are defined and driveways wich connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the faintens 16.5 feet for parking without an automobile extending into the road right-of-way will be allowed.

- Side Yard: The minimum width of side yard for any building shall be ten (10) feet on each side. The minimum width of side yard adjacent to a local or collector street shall be twenty (20) feet. The minimum width of mide yard adjacent to a major arterial street (Major Raad) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (10) feet.
- 4. Rear Yard: The minimum depth of rear yard shall be twenty (20) feet.

Parking Requirements.

Each deciling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

REMACABYT, RANCH

PLANMED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Estate Resid	dential (R-1 K/C)
8.7., 12,500 minis	esse:
2. BUILDING: Min. S.P	. 1000 Hax. S.P. 11,000
	. 400 Max. S.P. 1,500
Open Hin. S.F	. 0 % of Total 0
the state of the s	. 400 % of Total 100
Underground Min. S.F	. 0 % of Total 0
4. ARCHITECTURAL & LANDSCAPE G	RUIDELINES & SPACE REQUIREMENTS:
A. Site Plan Concept:	Detached dwellings
Bldg. Type Related to Land Use:	Single family residential
Structural Design:	Mond or metal frame, block or brick
B. Site Drainage Concept:	Surface drainage

		busing concept.	ING PAGESTAL SHEET TO SHEET		
c.		Site Planning Concept:	Residential subdivision		
		Street Width & Parking:	Local road (50° R.O.W.)		
		Circulation:	Public streets		
	DEVELO	PHENT STANDARDS	Estate Residential (R-1 K/C)		

11	Height	Limit

30' Maximum

12,500 s.f. (minimum) Varies

Mixture of natural materials, block, brick

2) Area Regulations

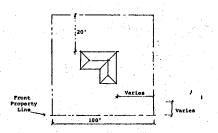
A. Lot Size B. Front Yard

Varies 20'

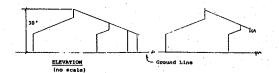
trees and shrubs

C. Side Yard D. Rear Yard

2 cars (enclosed) minimum Parking Regulations



SITE PLAN



D. Detached Residential (R-1B K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter crected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

Any use permitted in the Estate Residential (R-1 K/C) District.

Height Regulations

No building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee (or chimneys, water towers, radio and television antennas, monuments, spires and (lag-poles.

Area Regulations

- Area and Minimum Midth of Lot: For every dwelling or other main building erected or structurally altered, there shall be provided a shinum lot area of not loss than seven thousand two hundred (7,200) equare feet. The minimum width for much lot shall be sixty (60) feet measured along a public street or at the setback line from such public street,
- Front Yard: The distance from the front property line to the dwelling shall not be less than twenty (20) feet. The distance from the front property line to the garage shall not be less than ten (10) feet.

In all cases where the front yard setback is proposed to be less than 16.5 feat, "direct access" driveways will not be permitted. "Direct access" driveways are defined as drive-ways which connect in a perpendicular line with the road right-of-way, Oriveways which angle into the residence and the tactor allow the minimum last feet for pattern with the allowed.

- Side Yard: The minimum width of side yard adjacent to a local or collector street shall be fifteen (15) feet. The minimum width of side yard adjacent to a major atterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty (30) feet. There shall be at least ten (10) feet between adjacent structures, and a minimum of three (3) feet to the property line, except:
 - a. A garage attached to the dwelling unit may come within six (6) feet of a garage on an adjacent lot.
 - A garage detached a minimum of cight (8) feet from the dwelling unit may abut a detached garage on an adjacent lot. An open trallis or beams will be allowed to tie a garage to a dwelling unit.
- Rear Yard: The minimum depth of rear yard shall be (ifteen [15] feat from the rear of the main building and no secondary structure shall be built closer than five (5) feet from the

Parking Requirements

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

PLANNED DEVELOPMENT DISTRICT

1. LAND USE TYPE: Detached Residential (R-IB K/C) 6.P., 7.200 minimum 800 Max. S.P. 6,000 Min. S.F. 2. BUILDING 400 Max. S.F. 1.500 0 % of Total__ Min. S.P. 400 % of Total_ 100 Enclosed Min. S.F. 0 % of Total

4. ARCHITECTURAL & LANDSCAPE GUIDELINES & SPACE REQUIREMENTS:

Detached dwellings A. Site Plan Concepts Bldg. Type Related t Single family residential Mood or metal frame, block or brick Structural Design: Surface drainage B. Site Drainage Concept: Landscape Concept: Grass, trees and shrubs Mixture of natural materials, block, brick and plaster; carth tones Building Concept: C. Site Planning Concept: Residential subdivision Street Width & Parking: Local road (50' R.O.W.) Circulation

DEVELOPMENT STANDARDS

Detached Residential (R-1B K/C)

1) Reight Limit

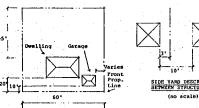
2) Area Regulations

A. Lot Size B. Front Yard

7,200 s.f. (minimum) 20' to the dwelling 10' to the garage

C. Side Yard D. Roar Yard Varies

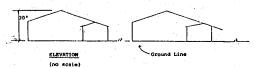
3) Parking Regulations 2 cars (enclosed) minimum



SITE PLAN



(no scale)



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THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24, 1972 SHEFT 5 OF IO

Patio Residential (R-2 K/C)

Use Regulations

No building or land shall be used and no building shall be hereafter crected, converted or structurally sitered, unless other-wise provided herein, except for one or more of the following uses:

- Any use permitted in the Detached Residential (R-18 K/C) District.
- One-family dwellings, attached to any other one-family dwelling.

Height Regulations

Mo building shall exceed thirty (30) feet in height. However, the height limits established herein may be relaxed by the Archi-tactural Committee (or chimmeys, water towers, radio and television antennas, monuments, spires and flag-poles.

- Area and Minimum Width of Lot: The Minimum lot area for each dwelling shall not be less than four thousand (4,000) square feet. The similum width of such lot shall be fifty (50) feet, measured along a street or at the setback line from such street, whichever is queater.
- Front Yard: The distance from the front property line to the dwelling shall not be less than ten (10) feet. The distance from the front property line to the garage shall not be less than ten (10) feet.
 - In all cases where the front yard esthack is proposed to be less than 16.5 feet. Givent access driveways will not be permitted. "Direct access" driveways are defined as driveways which connect in a perpendicular line with the road right-of-way. Driveways which angle into the residence and therefore allow the sinisms 16.6 feet for parking without an automobile extending into the road right-of-way will be allowed.
- Side Yard: There shall be provided a minimum of three [3] feet to the property line and a minimum total of ten [10] feet to the property line and a minimum total of ten [10] feet of side yard setbank between adjacent dwellings, all of which, however, may be provided on one side where the dwellings on two adjacent lots are built with a common wall. The minimum width of side yard adjacent to a local or collector street shall be twenty [20] feet. The minimum width of side yard adjacent to a major arterial street (Major Road) as designated on the Jefferson County Major Thoroughfare Plan shall be thirty [10] feet.
- Rear Yard: A minimum dimension of fifteen (15) feet will be maintained from the rear lot line for all structures.

Each dwelling shall be required to have an attached or detached enclosed garage for a minimum of two cars.

KEN-CARTL RAICE

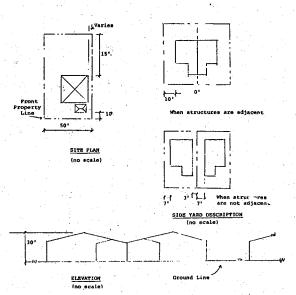
LAND USE TYPE:				
	4,000 minimum			
BUILDING:	Min. S.P.	800	Max. S.F	3,900
PARKING			Hax. S.F	
Open	Min. S.F.		% of Total_	0
Enclosed	Min. S.P.	400	% of Total_	100
Underground	Hin. S.F.	0	% of Total_	
ARCHITECTURAL	LANDSCAPE GU	IDELINES & SP	ACE REQUIREME	775 t
A. Site Plan	Concept:	Attached & de	tached dwelli	ng e
Bldg. Type Land Use	Related to	Single family	residential	
Structural	Designe	Wood or meta	frame, block	or brick
n. Site Drain	age Concept:	Surface drain	nage	
Landscape	Concepts	Grass, trees	and shrubs	
Building C	oncepts	Mixture of no brick and pla	tural materia ster, earth t	ones
C. Site Plans		Residential subdivision		
Street Wid	ith & Parkings	Local road (50 R.O.W.)	
Circulatio	201	Public stree	t8	 -
DEVELOPMENT STAND	ARDS	Pat	lo Residential	(R-2 K/C)
1) He	ight Gimit		Mavimum	

4,000 s.f. (minimum)

2 cars (enclosed) minimus

A. Lot Size
B. Front Yard
C. Side Yard
D. Rear Yard

3) Parking Regulations



P. Condominium Residential (R-3 K/C)

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless otherwise provided herein, except for one or more of the following uses:

- Any use permitted in the Patio Residential (R-2 K/C) District. ١.
- 2. Multiple-family dwelling.

No building shall exceed thirty (30) feet in height. Nowever, the height limits established herein may be relaxed by the Archi-tectural Committee for chimneys, Mater towers, radio and television antennas, monuments, spires and flag-poles.

Area Regulations

- Area: The overall density is based on an average density of T5 dwelling units por acre. However, a minimum site area for cach dwelling in a multiple-family dwelling shall not be less than four hundred (ifty (450) square feet.
- Pront Yard: The minimum depth of front yard for dwellings and other main buildings shall be ten [10] feet when the front yard is adjacent to a local or collector street. The minimum depth of front yard for dwellings and other main buildings shall be twenty [20] feet when the front yard is adjacent to a major arterial street [Major Road] as designated on the Jefferson County Major Thoroughless make me minimum depth of front yard for lots that from the minimum depth of front yard for lots that from the minimum depth of the cull-downer shall be ten [10] feet.

No part of the front yard established by the required setback may be used for off-street parking. Accessory buildings shall have the same minimum front yard as the dwelling or

- Side Yard: No minimum side yard shall be required when one of the following conditions prevails:
 - Structures which abut upon a plaza, park, mail or other permanent open green space may abut the common property line and have openings onto such appurtenances.
 - Where there are no openings on a given side of a structure, that side may be placed on the property line and may abut a structure on an adjoining lot where the latter structure also has no openings on its abutting
 - An attached or detached garage or carport may abut a side property line or another structure provided no openings are located on the abutting surfaces.

If one of the above conditions does not prevail, a minimum setback of five (5) feet shall be required and the minimum distance between unattached structures shall be ten 110) feet which may be either on the same lot or on two adjacent lots.

4. Rear Yard: No minimum dept of rear yard shall be required.

Parking Requirements

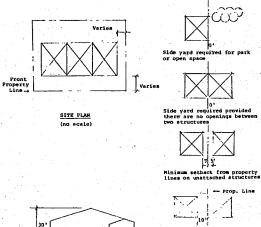
On-site parking for residential uses shall be in the form of not less than two (2) parking spaces (one parking space being a minimum of three hundred (100) square feet including that area which is required for ingress and egress) per dwelling unit.

KEM-CARYL RANCE

PLANNED DEVELO	PARKT DISTRICT
1. LAND USE TYPE: Condominium	Residential (R-) K/C)
S.F.: Average dens	ity of 15 units per acre
2. BUILDING: Min. S.F.	450/unit Max. S.F. 10.000/81dg.
3. PARKING Min. S.F.	400/unit Hax. S.P. 2.500/81dg.
Open Hin. S.F.	O X of Total 7
	400 × of Total 100
Underground Min. S.F.	O % of Total 0
4. ARCHITECTURAL & LANDSCAPE CO	DIDELINES & SPACE REQUIREMENTS:
A. Site Plan Concept:	Dealling unit clusters
Bldg. Type Related to Land Use:	Single & Multiple family residential
	Primarily wood, masonry, concrete,or st
B. Site Drainage Concept:	
Landscape Concept:	Grass, trees and shrubs Mixture of natural materials, block,
Building Concept:	brick and plaster; earth tones Individual fee and/or undivided
C. Site Planning Concept:	Covership
	(60' R.O.W.) or Arterial (80' - 100')
Circulation:	Public streets
DEVELOPMENT STANDARDS	Condominium Residential (R-3 K/
l) Height Limit	30' Maximum,
2) Area Regulations	
A. Site Area	450 s.f./dwelling, average of

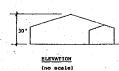
Varies

2 parking spaces per unit



B. Front Yard C. Side Yard D. Rear Yard

Parking Regulations



SIDE YARD DESCRIPTION (no scale)

THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

DATE APP OCTOBER 24,1972 SHEET 7 OF 10

Business Park (I-1 K/C)

No building or land shall be used and no building shall be hereafter erected, converted or structurally altered, unless other-wise provided herein, except for one or more of the following uses:

- 1. Office and professional buildings.
- Research and development facilities.
- Management/Seminar complexee.
- Public, parochiel, and private schools, colleges and universities (including those uses commonly accepted as accessory thereto when located on the same premises).
- 5. Parking of motor vehicles.
- 6. Bospitals.
- Heliports, subject to the provisions of Section IV.D of the Planned Development Application.
- Assembly of light industrial products to include, but not to be limited to, assembly of office machines.
- Accessory uses such as banks, laboratories, restaurants and private clubs (including the sale for consumption on the premises of liquor and three point two [1.28] percent fermented salt baverages), blusprinting estab-lishments and offices.
- Government buildings or uses such as police stations, fire stations, post offices; and electric substations, gas regulator stations, telephone exchanges, water reservoirs and utility pumping stations.
- Golf courses (including ministure golf or putting ranges and driving ranges private clubs and restaurants; including the sale for consumption on the premises of liquor and three point two (3.29) percent formented malt beverages in connection theresth) and those uses commonly accepted as accessory thereto, when located on the same premises.
- 12. The uses hereinabove set forth shall be subject to the following limitations and conditions:
 - Every use shall be so separated that the volume of sound, inherently and recurrently generated, does not exceed 70 decibels at any point on any boundary line of the lot on which the use is located.
 - Every use shall be no operated that the ground vibration inherently and recurrently generated is not preceptible, without instruments, at any point on any boundary line of the lot on which the use is located.
 - Every use shall be so operated that it does not emit an obnoxious or dangerous degree of heat, glare, radiation or fumes beyond any boundary line of the lot on which the use is located.
 - All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence adequate to conceal such facilities for fuel, raw materials, and products from adjacent residential, agricultural and commercial districts.
 - No materials or wastes shall be deposited upon a lot in such form or manner that they may be trans-ferred off the lot by natural causes or forces.

Beight Regulations

1. None

Area Regulations

- Area and Minimum Width of Lot: No restrictions other than the Building Site Coverage and Parking Requirements
- Front Yard: Except as hereinafter provided, the minisum depth of any front yard for any building, measured from the front lot line to the front setback line, shall be thirty (30) feet, except that setback on a county arterial shall be a minisum of forty (40) feet. Motor foul pumps may be exected not less than eighteen (18) feet from such front lot line.
- Side Yard: If a building is constructed of masony or fireproof materials, no side yard shall be required on an interior lot or on that ide of the property of the side of the
- 4. Rear Tard: No rear yard setback.

Building Site Coverage

Maximum building coverage of thirty (10) percent is allowed. Farking spaces and/or parking structures shall not be calculated as building area and shall be allowed in the seventy (70) percent open area.

Parking Requirements

The parking requirements shall be those set forth in Section 21 F. and 21 G. of the Jefferson County Soning Resolution.

VINCARYS, DANCE

PLANNED DEVELOPMENT DISTRICT

1.	LAND USE TYPE:	Business Park (I-1 K/C)	
	8.7.1	(No minimum)	

BUILDING:	Min. 8.7	Max. 8.F. 2,500,000
PARKING	l space per Min. S.F. <u>lemptoyees</u>	Max. S.F. H/A
Open	7 See 18 19	
Open.	1 space per	
Covered	Min. S.F. 3 employees	% of Total 100
Underground		

- 4. ARCHITECTURAL 4 LANDSCAPE GUIDELINES & SPACE REGUIREMENTS Individual sites and building clusters A. Site Plan Concepts Bldg. Type Related to Single & multi-tenant buildings Structural Designs Primarily masonry, concrete, or steel B. Site Drainage Concept: Surface drainage Building setbacks & parking islands to be mounded & landscaped w/qrass, trees, shrubs Mixture of natural materials, block, Landscape Concepts Building Concept: brick, claster; earth tones

C. Site Planning Concept: subdivision Street Width & Parkings and Arterial (80' - 100')

Circulation

DEVELOPMENT STANDARDS

Public streets

Business Park (I-1 K/C)

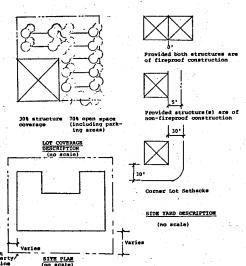
1) Reight Limit

Area Regulations

No restrictions Varies Varies

D. Rear Yard 3) Parking Regulations

See Sec. 21F and 21G of the Jefferson County Ioning Reso-



Recreation and Open Space (C-O K/C)

Use Regulations

- Agricultural uses limited to the grazing and keeping of livestock, growing of hay, grains, grasses, trees, shrubs, and truck gardens, and accessory uses thereof such as barns, sheds, corrais, etc.
- 2. Public parks, playgrounds and other public or private re-
- Buildings and structures customarily accessory to the
- Deposit and/or excavation of sand, gravel, rock, earth, minerals and other similar materials under the limitations of and in the manner prescribed in Paragraph 5 of Section 25 of the Jefferson County Zoning Resolutions.
- Governmental buildings or uses such as police stations, fire stations, post offices; and electric substations, gas req-ulator stations, telephone exchanges, water reservoirs and utility pumping stations, water wells and cable television antennas and other private and public utility uses.
- Recreation uses of all types, including but not limited to golf courses, tennis courts, swimming pools, ball fields, camping, hiking, horseback riding, equestrian facilities and bicycle trails, trap-shooting, rifle, pistol and archery ranges, and pinch areas.

Conditional Uses

- The following uses are permitted subject to such conditions as may be established by the Jefferson County Planning Commission and Board of County Commissioners to preserve the general intent and purpose of this zone.
- Sanitary land fill, provided such fill does not create a water diversion hazard which would endanger adjacent areas, and further provided that such sanitary land fill would not create any undesirable odors or any unsightly areas to adjacent properties and/or buildings.
- Campround for sounted camper units, camp trailers and schor homes. This provision shall apply only for campround areas for tourists, campers, hunters, fishermen, sountain climbers and other such individuals involved in similar temporary transient activity. Plans of such areas must be registered with and approved by both the Jafferson County learning bepartment. And the Jefferson County Planning Department of the Health Department on a continuing basis. This provision shall not be construed to permit mobile homes or trailers.

Height Regulations

No structure shall exceed thirty-five (35) feet in height. However, the height limits established herein may be relaxed by the Architectural Committee for chimneys, water towers, radio and television antennas, monuments, spires

Area Regulations

- Front Yard: The front yard building setback line shall be a minimum of one hundred (100) feet from any existing or proposed street or road right-of-way line.
- Side Yard: There shall be a minimum side yard of fifty (30) feet between any building or structure and the nearest property line.
- Rear Yard: There shall be a minimum rear yard of fifty [30] feet as measured from the rear property line to the nearest building or structure.
- Stream Setback: No building, structure or camper unit Intended for overmight living quarters shall be permitted to be constructed or placed within the flood plain of any stream as determined by the highwater line of a twenty-five (23) year flood. The term "stream's shall be construed to include channel, marsh lands, swemp, or any other area subject to lundation.

KEN-CARYL RANCH

1. LAMD USE TYPE: Recreation and Open Space (C-O, K/C)

Undergroun

PLANNED DEVELOPMENT DISTRICT

- g.F., So minimum Min. S.F. 100 Kant. S.F. ___ 2. RUTLOING 0 Kax. 6.7. J. PARKING 0 % of Total_ Min. S.F. 0 % of Total Covered Min. S.F. 0 % of Total_

ARC	HITECTURAL & LANDSCAPE G	OIDELINES & SPACE REQUIREMENTS.
۸.	Site Plan Concept:	Recreation building
	Bldg. Type Related to	Single & Multi-purpose building
	Structural Designs	Mood or metal frame, masonry, block, brick or concrete
۵.	Site Drainage Concepts	Surface drainage
	Landscape Concept:	Natural
	Building Concept:	Mixture of natural materials, block, brick and plaster; earth tones
c.	Site Planning Concept:	Cluster

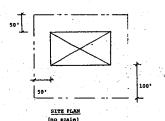
Local (50' R.O.M.), Collector (60' R.O.M.) Street Width & Parkings or Arterial (80' - 100') Public and/or private streets Circulation:

Recreation and Open Space (C-O K/c DEVELOPMENT STANDARDS

> 35' Maximum 1) Reight Limit

2) Area Regulations

A. Lot Size 8. Pront Yard C. Side Yard D. Rear Yard No minimum 3) Parking Regulations





STREAM SETBACK DESCRIPTION (no scale)

THE KEN-CARYL RANCH JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

OFFICIAL DEVELOPMENT PLAN

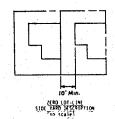
DATE APP OCTOBER 24,1972 SHEET 10 OF 10

BOOK /6 PAGE 46 MAP NO. 18

All the provisions of the Ken-Caryl Ranch Official Development Plan, recorded March 13, 1973, in COP Book pages & through 10, of the records of Jefferson County, Colorado, shall continue in full force and effect except

MEADOW

- "E. Area Regulations, paragraph 3. Side yard, first sentence", is amended to read as follows
- F Development Standards, SIDE YARD DESCRIPTION: is amended to include the following shet-



F. Height Regulations" is amended to include the following: "Building height shall be

- 1. "G. Height Regulations" is amended to read as follows:
- Height Limit 50° Maximum. Building height shall be measured from top of foundation wall at

APPROVAL

THIS SPEET SUPERSIDES THAT PURTION IN SPEET, I WILL IT PER PAR 13.7 JANNA AS THE METH MARIN SEMENT AS DESCRIBED BY THE ATTAMBLETION.

norman C. aller

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERE AN RECORDER OF THE COUNTY OF DEPENSON, STATE OF COLORADO, THE

RECEPTION NO. 7809374/ Book 16 Page 46 The man C. aller Cype Marjan Jagan Suputy.

TABULATION OF PLANNED DEVELOPEMENT

9.850 AC R-2K/C

C-0 K/C ▼

R-2 K/C I

48 800 AC

\ C-O K/C IV

C-OK/CII

R-2 K/C III

54,424 AL

R-4 K/C II

C-IK/C II 12 446 AC.

R-3 K/C I

C-O K/C I 6.732 AC

R-3 K/C II

R-4 K/C I 30 664 AG

C-1 K/C I

COOS \$	LETTER.	LAND	GROSS ACREAGE	TOTAL UNITS
FE KK Lu, Lu	R-Z K/C	PATIO RESIDENTIAL	115 084	400
R-S K/C I & II	R-3 K/C	CONDOMINIUM RESIDENTIAL	50.753	480
Rd K/C	RA KIC	RESIDENTIAL	48 497	1050
C-I KIC I # II	C-1 K/C	REGIONAL COMMERCIAL	91.457	
C-O K/C	C-0 KK	RECEGATION /	87.290	

(NORTH PLAINS SEGMENT)

JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

THE KEN-CARYL RANCH

AMENDED OFFICIAL DEVELOPMENT PLAN

OVERALL ZONING BOUNDARY

A PORTION OF LAND LOCATED IN SECTION'S 29, 12, 13, TONNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIOTAN, COUNTY OF WEFFERSON, STATE OF COLORBO, SERIO MOSE PARTICULARLY DESCRIBED AS FOLLOWS:

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R-2 K/C I

A RITION OF DAND IN SECTION 1, TOWNSHIP 1 YOUTH, RANGE 1 WEST, UP THE STATE PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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R-2 K/C II

A PORTION OF LAND IN THE SOUTH ONE-HALF OF SECTION 29, TOMOSHIP 5 SOUTH, MANGE 69 WEST OF THE STATH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLOMADO, BEING HORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONCIONS:

COMPANIENT AT THE EAST ONE-QUARTER CORRER OF SAID SECTION 29: THEREE SEPS_15/59 MAD ALDRE THE EAST-MEST CONTROLLINE OF SAID SECTION 29; ASSESS_15/59 MAD ALDRE THE EAST-MEST CONTROLLINE OF SAID SECTION 29; ASSESS_15/59 MAD ALDRE TO A POINT OF CORRE, THEREE ALDRE ALDRE TO THE LEFT HAVING A COLLIN OF SEPS_15/59 MAD ALDRE TO A POINT OF TRANSPORT, THEREE SEPS_15/59 MAD ALDRE THE MASS OF THE MACTO A POINT OF TRANSPORT, THEREE SEPS_15/59 MAD ALDRE THE ALDRE TO A POINT OF CONTROLLINE OF THE MASS OF THE MASS OF THE MACTO A POINT OF TRANSPORT THEREE SEPS_15/59 MAD ALDRE THE MASS OF THE

R-2 K/C III

A PORTION OF LAND LOCATED IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 MEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING HORE PARTICULARLY DESCRIBED AS POLLOWS:

COMPOSITION 20 THE CONTRACT CONTROL OF SAID SECTION 29; THESE MODITY 16"E

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R-3 K/C I

A PORTION OF CARD IN THE NAME OF SHALD TO SEPTIME 32 AND SECTIFF. 33, TOWNSHOLD SOUTH, RANGE OF SHEET OF THE STATE PRINTING MERITING, CO.C. OF SEPTERSON, STATE OF COLORARY, BEITZH MURE PARTICULARLY DESCRIBED AS SOLITON.

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R=4 K/C I

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R-4 K/C II

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C-OK/CIT

A PORTION OF LAND LOCATED IN SECTION 1/9, TOWNSHIP 15 SOUTH, RANGE + + WEST OF THE SIXTH PRINCIPAL HERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING HOME PARTICULARLY DESCRIBED AS FOLLOWS:

COMMON TO AT THE SOUTHWAST COMEN OF SAID SECTION 29; THENEX NAME I WANT OF THE MAN ALONG THE LAST LINE OF SAID SECTION 29, A DISTANCE OF \$10,00 FEET TO A DOWN OF SECTION 29, A DISTANCE OF \$10,00 FEET TO A DOWN OF SECTION 29, ADDITIONATE OF \$10,00 FEET TO A POINT OF COMEN; THENEX ON A CURVE TO THE RIGHT HAVING A DELIA OF \$7799177. A ADDITION OF SECTION 29, THENEX OF \$90,00 FEET HEADER OF ADDITIONATE OF \$10,00 FEET TO A POINT ON CURVES THENEX HEADER SOUTHWAST A DISTANCE OF \$10,00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29, THENEX SOUTH \$10.00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29, THENEX SOUTH \$10.00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29, THENEX SOUTH \$10.00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29, THENEX SOUTH \$10.00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 29, THENEX SOUTH \$10.00 FEET TO THE TRUE POINT OF SECTIONING, CONTAINING 2, \$40 ACRES.

C-OK/CIII

A PORTION OF THE SOUTH CHE-HALF OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE ℓ 1 MEST OF THE SIXTH PRINCIPAL PERIODAN, COUNTY OF JEFFERSON, STATE OF GRODADO, BEING HORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMPRESING AT THE EAST ONE-QUARTER CONNER OF SAID SECTION 2ND SAID POINT BEING THE WRITE FORM OF BEGINNING; THENCE SOOPIES NO ADDITION OF BEGINNING; THENCE SOOPIES NO ADDITION OF BOOL SECTION 2ND A DISTANCE OF BOOL, IT FEET, THENE SOOPIES OF BOOL, IT FEET, THENE SOOPIES OF BOOL, IT FEET, THENE SOOPIES OF BOOL, IT FEET ON A POINT ON THE PASSAGE CONTINUE OF SAID SECTION 3D, THENE SHOP OFFERS OF ADDITIONS OF THE SAID SECTION OF A DISTANCE OF THE SOOPIES OF THE SAID SECTION 2ND ADDITION OF THE SAID SECTION OF THE SAID SECTION AND ADDITIONS OF THE SAID SECTION OF T

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Book 16 Page

C-0 K/C IV

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COMPREING AT THE SOUTHERS COMER OF SAID SECTION 22, DERKE SWEIGHT, 22
DISTANCE OF 100,00 FEET; DHE THE DOING OF RECEIVING, DERK SWEIGHT, A DISTANCE OF 100,00 FEET; DHENE SITTINGTON, A DISTANCE OF 100,00 FEET; DHENE SITTINGTON, A DISTANCE OF 200,10 FEET; DHENE HOTELTONG, A DISTANCE OF 200,10 FEET; DHENE SWEIGHTONG, A DISTANCE OF 200,10 FEET TO THE 100 FEET OF 100 FEET OF 200,10 FEET O COMPRICING AT THE SOUTHEAST CORNER OF SAID SECTION THE DEBEE SHY BUTTON TO ILON ACRES.

A PRITISH OF LAND LOCATED IN SECTION 2. TOWARDS SOUTH, RANGE COST OF STORM PROCESS OF THE STO

CONSTRUME AT THE COLDMANT CONNET OF SATE SECTION. CALLS TO DO THE THE PRODUCT OF RECEIVABLE OF SATE STORM, A SHISTAND AT THE PRODUCT OF RECEIVABLE OF SATE STORMS. A SHISTAND AT THE PRODUCT OF SATE STORMS AS THE PRODUCT OF THE LET WAS ASSESSED AS THE PRODUCT OF SATE STORMS AS

THE KEN-CARYL RANCH

(NORTH "PLAINS" SEGMENT) JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

All the provisions of The Ken-Caryl Ranch Official Development Plan, recorded March 13,1973, in OFF Rock 3, pages I through 10, of the records of Jefferson Canty, Colorado, shall continue in full force and effect except as manded by the North "Plains" OFF Amendment 1. With respect to the lands described in this North "Plains" OFF Amendment 1, the Official Development Plan of The Ean-Caryl Ranch is mended as follows:

- 1) "E. Area Regulations" is seemed to read as follows: "S. Minimum depth of ing: Where the rear of a lot is adjacent to a shooping center, industrial tract, or other similar non-revidential use, to the right-of-way of a railroad, or to a freeway, expressavor or major arterial, the depth of lot death be a minimum of one-hundred thirty feet (130°); this depth shall be developed through a combination of tot depth and a twenty foot (20°) submiss landscape strip. The defreem Gounty Flaming Department shall have the control of t suthority to review and approve the landscape plan as a part of the final plat process.
- 2) This Amendment applies to those areas identified as R-3 Emr-Carvi-I Condominum Residential and shown on the Ken-Carvi Ranch Official Development Plan, Sheet 1 of 10, Recorded March 15, 1973, at the office of the Jefferson County Clerk and Recorders Office, OVP Book 3, Page 1, and as Amendment on sheet "A of 10 of the RehrCarvi Ranch COV", on the 4th day of December 1975 (Raception No. 750767).

Item 3 (Parking) Under Ken-Caryl Ranch Planned Development District, is smended to read as follows

On-site parking for residential uses shall be in the form of not less than two (2) parking spaces (one parking space being a minimum of three hundred (300) square feet including that area which is required for ingress and express) per level ling unit.

3) PARKING Min. S.F. 400/unit Max. S.F. 2500/Bldg.

R-2 K/C I

A PRINTING OF LAND IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE LY WEST, OF THE SYSTEM PRINCIPAL PERIODAY, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMPERING AT THE EAST ONE-QUANTER COMPER OF SAID SECTION 29; THENCE SOPPLINES AND ADDRESS OF EAST-CONTROL OF SAID SECTION 29; THENCE SOPPLINES AND ADDRESS OF EAST-CONTROL OF SAID SECTION 20; DISTANCE OF 3817-317 FEET TO THE TRUE POINT OF BEGINNING; THEN 20 THE ADDRESS OF 3800-380 FEET, A DISTANCE OF 2800-380 FEET, A DISTANCE OF 2800-380 FEET, A DISTANCE OF 2800-380 FEET, A DISTANCE OF 2800-381 FEET HEARINGD ALONG THE ARCH TO A POINT OF LOWES; THENCE ON A GAME TO THE LEFT HOUSE ADDRESS AND THE ARCH TO A POINT OF LOWES; THENCE OF A CAME TO THE LEFT THE SAID ALONG THE ARCH TO A POINT OF LOWES; THENCE OF A CAME TO THE RIGHT DISTANCE OF 39.0 FEET, THENCE SOPPLIES OF THE SAID AND THE ARCH TO A POINT OF LOWES; THENCE OF 2800-380 FEET HEARINGD ALONG THE ARCH TO A POINT ON LOWE; THENCE SOPPLIES OF A DISTANCE OF 39.0 FEET, THENCE SOPPLIES OF A DISTANCE OF 2800-280 FEET AND THE ARCH TO A POINT ON LOWE; THENCE SOPPLIES OF THE ARCH TO A POINT OF LOWES; THENCE OF 2800-380 FEET AND THENCE SOPPLIES OF THE ARCH TO A POINT OF LOWES; THENCE OF 2800-380 FEET ARCH TO A POINT OF LOWES; THENCE SOPPLIES AND THE ARCH TO A POINT OF LOWES; THENCE SOPPLIES AND THE ARCH TO A POINT OF LOWES; THENCE SOPPLIES AND THE ARCH TO A POINT OF THE SOPPLIES OF THE POINT OF LOWES; THENCE SOPPLIES AND THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TOWNS AND THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TOWNS AND THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TOWNS AND THE ARCH TO A POINT OF THE SOPPLIES OF THE ARCH TOWNS AND THE ARCH TOWNS AND THE THE SOPPLIES OF THE ARCH TOWNS AND THE THE SOPPLIES OF THE ARCH TOWNS AND

R-2 K/C II

A PORTION OF LAND IN THE SOUTH ONE-HALF OF SECTION 29, TOMASHIP 5 SOUTH, RANCE 69 WEST-OF THE SIXTH PRINCIPAL HERIDIAN; COUNTY OF JEFFERSON, STATE OF COLORADO, BEING HORE PARTICULARLY DESCRIBED AS

COLLINS:

COMPARING AT THE EAST ONE-QUARTER CORNER OF SAID SECTION 29, THENE \$8993199M AND ALDRO THE EAST-HEST CONTEX LINE OF SAID SECTION 29, THENE \$8993199M AND ALDRO THE EAST-HEST CONTEX LINE OF SAID SECTION 29, A DISSINCE OF 330,50 CE OF 231,00 FREE TO A POINT OF CHAVE, THENE ALDRO A CAURE TO THE SECTION 20, AND A CAURE TO THE SECTION 20, AND A CAURE TO THE SECTION 20, AND A CAURE TO A POINT OF THORSET TO A POINT OF THORSET, THENE \$51990199F A DISSINCE OF \$30,00 FEET, A DISSINCE OF \$13,00 FEET, THENE \$509091973M, A DISSINCE OF \$12,00 FEET, THENE \$509091973M, A DISSINCE OF \$12,00 FEET, THENE \$50909197M, A DISSINCE OF \$12,00 FEET, THENE \$50909197M, A DISSINCE OF \$12,00 FEET, A DISSINCE

A PORTION OF LAND LOCATED IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL HERIDIAN, COUNTY OF JEFFERSON, STATE OF COLORADO, BEING HORE PARTICULALLY DESCRIBED AS FOLLOWS:

BEING HARE PARTICULARLY DESCRIBED AS COLLUMN:

COMMITTIES AT THE STUDIESCY COMERO OF SAID SECTION 29, THERE MODELL'S' COMMITTIES AND ALONG THE MAD THE FOR THE SAID SECTION 23 A DISTANCE OF 807,08 FEET TO HER THE PROTECT OF SAID SECTION 23 A DISTANCE OF 807,08 FEET TO HER THE PROTECT OF SAID SECTION 25 A DISTANCE OF 70.07 FEET; THERE 589°30'00" A DISTANCE OF 1109,00 FEET; THERE 580°30'00" AND THE SAID ALONG THE ARC TO A POINT OF COMMITTIES THERE 580°30'00" A DISTANCE OF 590.00 FEET; THERE 580°30'00" A DISTANCE OF 590.00 FEET; THERE 580°30'00" THE ARC TO A POINT OF COMMITTIES THE SAID ALONG THE SAID ALONG THE SAID THE ARC TO 1900'190", A ARDING OF MADRIC, THERE 580° THE SAID THE ARC TO 1900'190", A ARDING OF MADRIC, THERE 580° THE THE SAID THE SAID

R-3 K/C I

COMENCING AT THE IMPRIMASS COMER OF SAID SECTION ST, SAID POINT BEING THE TRUE POINT OF RECIPIONS, DRIVER INFO 1917 PE AND ALDER THE MORTH LINE OF SAID SECTION ST, ANSTHERE OF SAID PRETS, THREE SECTIONS OF SAID STREET, OR SAID STANDARD S OF SAID SECTION IP A DISTANCE OF 1300.00 FEET TO THE TRUE POINT OF BEGINNING,

C-O K/C I

A PORTION OF LAND LOCATED IN THE NORTH ONE-HALF OF SECTION 32 AND SECTION 33, TOWNSHIP 5 SOUTH, RANGE 69 NEST OF THE SIXTH PRINCIPAL RERTOLIN, COUNTY OF UPFFERSON, STATE OF COLORAGO, BEING HORE PARTICULALLY DESCRIBED AS FOLUMS

OF WEPTENDIN, STATE OF COLUMNO, SHE PART MADE PARTICULARLY DESCRIBED AS POLLOGS;

COMPONIENT AT THE NORTHWEST COMEN OF SAID SECTION 33 PAPERS SORPET***

AN ALONG THE MEST LINE OF SAID SECTION 33 A DISTANCE OF 50.00 PERT IN THE PAPER SORPET***

AND ALONG THE MEST THE SAID SECTION 33 A DISTANCE OF 50.00 PERT IN THE NORTHWEST COMEN OF THE NORTHWEST COMEN OF THE NORTHWEST COMEN OF THE NORTHWEST COMEN SORPET**

"PALINE" PHASE 33 THROUGH 35; THENCE SORPET***

OF EXH-LAMAL BANCH "PALINE" PHASE IV, FILLING NO. 2, A DISTANCE OF 674.75 PERT IN THE SECHNAL BANCH "PALINE" PHASE IV, FILLING NO. 2, A DISTANCE OF 674.75 PERT IN THE SECHNAL BANCH "PALINE" PHASE IV, FILLING NO. 2, A DISTANCE OF 674.75 PERT IN THE SECHNAL BANCH "PALINE" PHASE IV, FILLING NO. 2, A DISTANCE OF 67.65 PERT TO THE SECHNAL SORPET SHOULD SHARE THE SECHNAL BANCH "PALINE" PHASE IV, FILLING NO. 2, A DISTANCE OF 67.65 PERT TO THE SECHNAL SHARE THE SECHNAL BANCH "PALINE" PHASE IV, FILLING NO. 2, THOSE SORPET SHARE OF 10.00 PERT IN THE SECHNAL BANCH SHARE IV, FILLING NO. 2, SAID POINT SELVE THE TRUE FIDINT OF SECINHING, CONTAINING 7,722 ACKES.

THIS SPEET SUPERSEDES THOSE PORTIONS OF SPEETS WHICH ARE RECORDED IN OOR BOOK 15. AT PAGES 16 AND 17 JOHAN AS THE NORTH PLAIMS SECHEMENT ARROUGH OFFICIAL OCYCLOPHENT PLAN AS DESCRIBED BY THE ATTACHED LEGALS.

THE AMBDED OFFICIAL DEVELOPMENT PLAN OF THE KEN-CAYL RANCH, NORTH PLAINS SCORENT AMBDERT 1, IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS THIS GHB_DAY OF THANK 1979.

terk the Determent deputy the Determine Commission THIS 5H

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS 1216. DAY OF July FM 1/48. 1919.

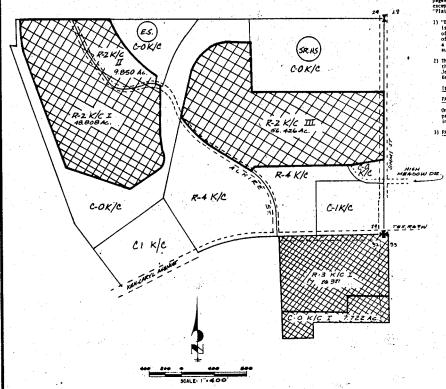
RECEPTION NO. 79062009

Thorman C. allew agenty THE KEN-CARYL RANCH

> (NORTH PLAINS SEGMENT) JOHNS-MANVILLE SALES CORP. JEFFERSON COUNTY, COLORADO

AMENDED OFFICIAL DEVELOPMENT PLAN

SHEET 1 of 1



TABULATION OF PLANNED DEVELOPMENTS

DESCRIPTION CODE	LETTER DESIGNATION	LAND	GROSS Acreage	TOTAL
R-2 K/C	R-Z K/C	PATIO RESIDENTIAL	115.084	400
R-3 K/C I	R-3 K/C	CONDOMINIUM RESIDENTIAL	26.321	270
со к/с I	c-0 K/C	RECREATIONAL OPEN SPACE	7.722	

SOCIAL PARTICIPATE

MAP NO.

PRINCIPAL REGION, COUNT OF JEPTRANN, STATE OF COLORIDO, REINS NOR PLANTICUARS.

CORRECTION AS POLICIOS:

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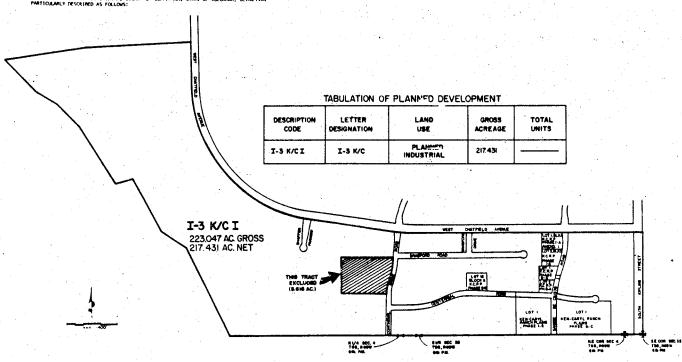
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THE FOLLOWING PARCEL BEING A PORTION OF SECTION II, TOWNSHIP TH SOUTH, RANGE THE NEST OF THE SIXTH PRINCIPAL PERIDDIAN, COUNTY OF JEFFFRON, STATE OF COLORADO, BEING HIM PARTICULANT PERSONERS AS FOLLOWS:

COMMENCING AT THE COUNTMENT COMMEN OF LOT 1, ALOCK 1. AS PLATED IN NEW-COMMENSACY PLANED HOSE VEHILLS, AN ACCORDED IN THE COMMEN OF JUSTIANNA, NIARL OF ACCORDED IN THE COMMEN OF JUSTIANNA, NIARL OF ACCORDED IN THE COMMENT OF AND STREET OF A STREET OF A POINT OF AND STREET OF AND STREET OF A STREET OF A POINT OF AND STREET OF A STREET OF A POINT OF AND STREET OF A STREET OF A POINT OF AND STREET OF A POINT OF A POIN

THE AMEDIED OFFICIAL DEVELOPMENT FLAN OF THE REH-CARYL RANCH, NORTH PLAINS SECRENT AMEDIENT 1, IS APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMISSIONERS THIS STAFF DAY OF COUNTY CO ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, STATE OF COLORADO, THIS JIST DAY OF MARCHE 1980 RECEPTION NO. 800 24 765

THIS SHEET SUPERSEDES THOSE PORTIONS OF SHEETS WHICH ME RECORDED IN DOP BOOK AT PIGES AND DOWN AS THE HORTH PLAINS SEG-HENT MELDED OFFICIAL DEVELOPMENT PLAN AS DESCRIBED BY THE ATTACHED



THE KEN-CARYL RANCH (NORTH PLAINS SEGMENT)

JOHNS-MANVILLE SALES CORP JEFFERSON COUNTY, COLORADO

AMENDED
OFFICIAL DEVELOPMENT PLAN

SHEET Id 2